

SAN ANTONIO HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

3:00 P.M.

Jeffrey Fetzer - Chairman

Xavier Gonzalez - Vice-Chairman

Ed Cabel

Timothy B. Cone

Eva Y. Esquivel

Isabel Baese Garcia

Dan Gonzalez

Marianna C. Jones

John Laffoon

Samuel E. Luna

Victor Salas

Bernice B. Williams

Mark Wohlfarth

Jesse Zuniga, III

- 3:00 P.M. - Call to Order - Board Room, Development and Business Services Center, 1901 S. Alamo
- Roll Call
- Chairman's Statement

CONSENT

1 . Case No. 2006-308

103 Callaghan Avenue
John and Paula Strelchun

Painting

2 . Case No. 2006-231

242 West Lynwood Avenue
Robert C. Murray, Architect

Addition, Exterior
Renovations

3 . Case No. 2006-269

203 Bushnell
Don McDonald, Architect

Exterior Renovations

4 . Case No. 2006-309

316 West Mulberry Avenue
Leo & Jennifer Naeger

Fencing, Swimming pool

5 . Case No. 2006-144

1426 Napier
Roland Gutierrez

New Construction -
Accessory Structure

6 . Case No. 2006-225

218 Bushnell
Joe Stubblefield - SA Partnership

Exterior Renovations

7 . Case No. 2006-143B

111 West Crockett Street
Aetna Sign Group

Signage

8 . Case No. 2006-310

316 North Presa on the RiverWalk
San Antonio Hotel Lodging Assn. - Michael Tease

Placement of Plaque

- | | | |
|-------------------------------|--|------------------------|
| 9 . <u>Case No. 2006-311</u> | 2109 West Gramercy
Edwin Mickelson | Addition, Fencing |
| 10 . <u>Case No. 2006-312</u> | 321 Madison
Jonathan & Deborah Bailey | Demolition, Renovation |
| 11 . <u>Case No. 2006-313</u> | South Texas Medical Center
Rialto Studio - Kenneth Fowler | Directional Signage |
| 12 . <u>Case No. 2006-314</u> | 223 Bushnell
Scot & Tomme Lu Riklin | Fencing |

INDIVIDUAL CONSIDERATION

Returning Cases

- | | | |
|-------------------------------|--|-----------------|
| 13 . <u>Case No. 2006-303</u> | 3714 Broadway
Mario Barrozo | Signage, Canopy |
| 14 . <u>Case No. 2006-304</u> | 1605 East Houston
Eugene Coleman, Jr. | Signage |

Historic

- | | | |
|--------------------------------|--|------------------|
| 15 . <u>Case No. 2006-250B</u> | 431 East Rosewood
Joe Stubblefield | Garage enclosure |
| 16 . <u>Case No. 2006-315</u> | 122 East Houston Street
Pinnacle Signs, LLP | Signage |
| 17 . <u>Case No. 2006-316</u> | 524 Leigh Street
Dawn Domaschk | Demolition |
| 18 . <u>Case No. 2006-317</u> | 511 Dawson
Neighborhood Services Department - John Kelly | Demolition |
| 19 . <u>Case No. 2005-085</u> | 735 East Guenther Street
Sprinkle Robey Architects, Alan Neff | New Construction |

- 20 . Case No. 2006-318
735 East Guenther Street
Sprinkle Robey Architects, Alan Neff
New Construction
- 21 . Case No. 2006-319
121 Cedar Street
Mary Nethery
Re-roof, Fencing
- 22 . Case No. 2006-320
301 Barrera
Sunita & Sandeep Patel
Renovation

RIO

- 23 . Case No. 2006-321
307 West Josephine Street
DPT - Glenn Kues
Signage
- 24 . Case No. 2006-322 Rivercenter Mall
849 E. Commerce
SA Partnership - Frank Valadez
Exterior Renovations

Public

- 25 . Case No. 2006-323
651 Devine
Coltrane Fernandez Zavala Group LLC
Park Improvements

OTHER ITEMS:

- Citizens to be Heard
- August 16, September 6 & September 20, 2006 minutes.
- Staff Report
- Executive Session: Consultation on attorney - client matters
- Adjournment.

CONSENT AGENDA

HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 1

HDRC CASE NO: 2006-308

IDENTIFIER:

ADDRESS: 103 Callaghan Avenue

LEGAL DESCRIPTION: NCB 924, Block 2, Lot 7

ZONING: "RM-4 C H HS" Mixed-Residential with a Conditional Use,

PUBLIC PROPERTY: Historic District, Historic Significant

COUNCIL DISTRICT:

DISTRICT: Lavaca Historic District

LANDMARK: F.W. Wehmeyer House - Significant

APPLICANT: John and Paula Strelchun

OWNER: Same

TYPE OF WORK: Painting

REQUEST:

The applicant is requesting a Certificate of Appropriateness for Final Approval to paint the rear addition with the following colors:

- 1) Body - Brown Teepee
- 2) Trim - Innocence (pale yellow)

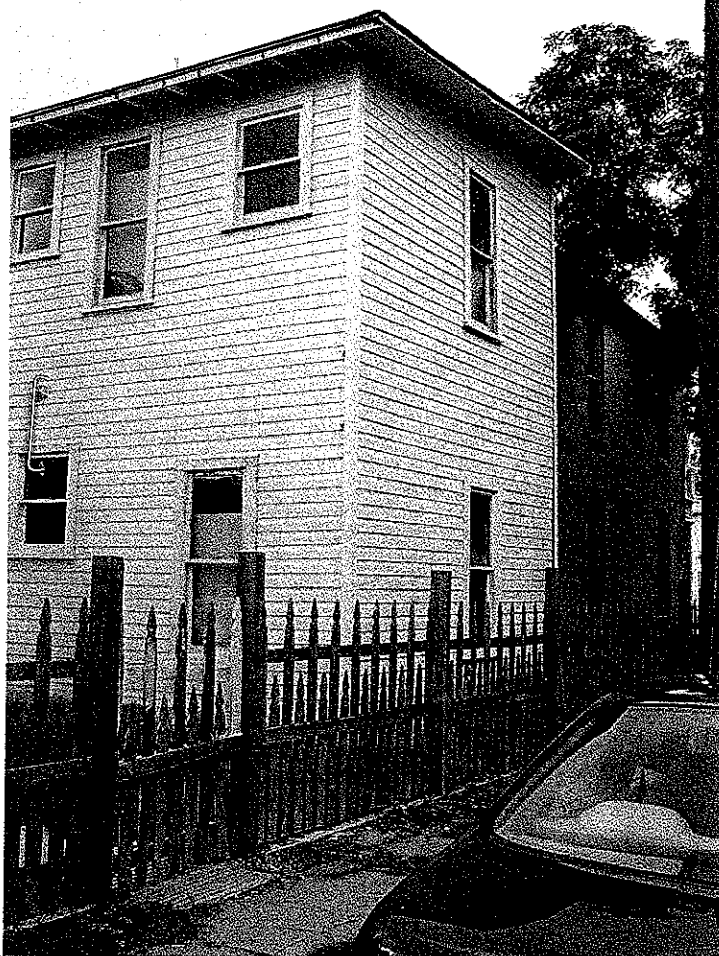
The accompanying exhibits provide additional information.

RECOMMENDATION:

The staff recommends approval of this request as submitted. The proposed paint changes are architecturally and esthetically appropriate for their setting and will have no adverse effects on the property or the district.

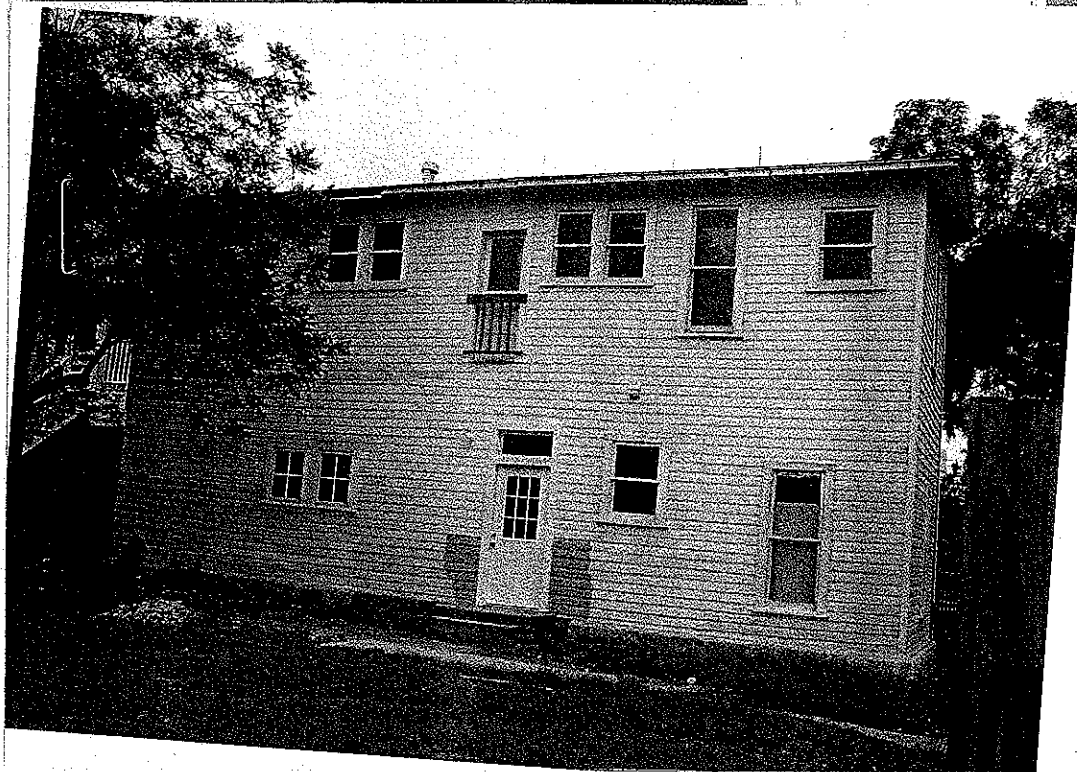
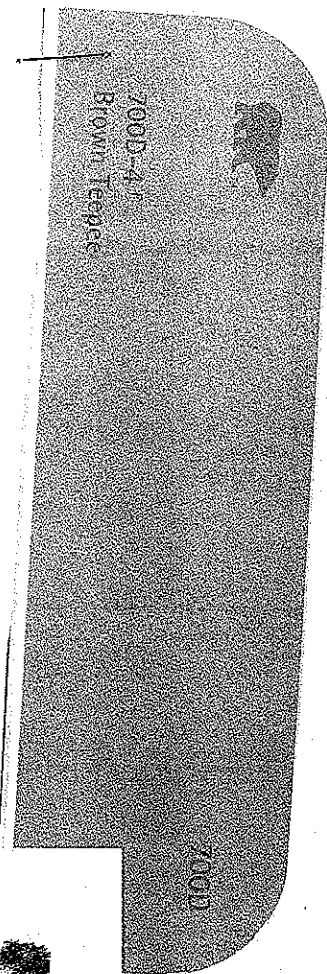
CASE COMMENTS:





W-D-720

W-D-720
Innocence



103 Callaghan Ave

HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 2

HDRC CASE NO: 2006-231

IDENTIFIER:

ADDRESS: 242 West Lynwood Avenue

LEGAL DESCRIPTION: NCB 6384, Block 4, Lots 1 and 2

ZONING: "R-5 H" Single-Family Residential, Historic District

PUBLIC PROPERTY:

COUNCIL DISTRICT: 1

DISTRICT: Monte Vista Historic District

LANDMARK:

APPLICANT: Robert C. Murray, Architect

OWNER: Griffin Stuart Kelly & Leanne W. Kelly

TYPE OF WORK: Addition, Exterior Renovations

REQUEST:

The applicant is requesting a Certificate of Appropriateness for Final Approval to:

- 1) Construct a 2-story addition at the rear of the property. The exterior wall will be similar brick with cast stone trim, arched headers and quoins to match existing cast stone. The roof will be barrel clay tile to match the existing roof. New windows and doors will be custom made, wooden true divided light replicas.
- 2) Add domed metal awnings to the first floor addition at the south and east elevations to provide shading.
- 3) Add new custom ornamental iron railings for the existing second floor balconies to extend to a minimum height of 36 inches above the floor.

RECOMMENDATION:

The staff recommends approval of this request as submitted. The proposed changes are architecturally and esthetically appropriate for their setting and will have no adverse effects on the property or the district.

CASE COMMENTS:

This case received conceptual approval August 2, 2006.

Robert C. Murray AIA
Architect

146 E. Rosewood Ave.
San Antonio Tx. 78212

P/Fx (210) 826-3555 Cell. (210) 862-5135 Hm. (210) 737-1579 Email: rcmarc@sbccglobal.net

September 20, 2006

Final Approval For
Addition to 242 W. Lynwood Ave.

PROJECT DESCRIPTION

The applicant is requesting a Certificate of Appropriateness for final approval for a two (2) story addition to an existing residence.

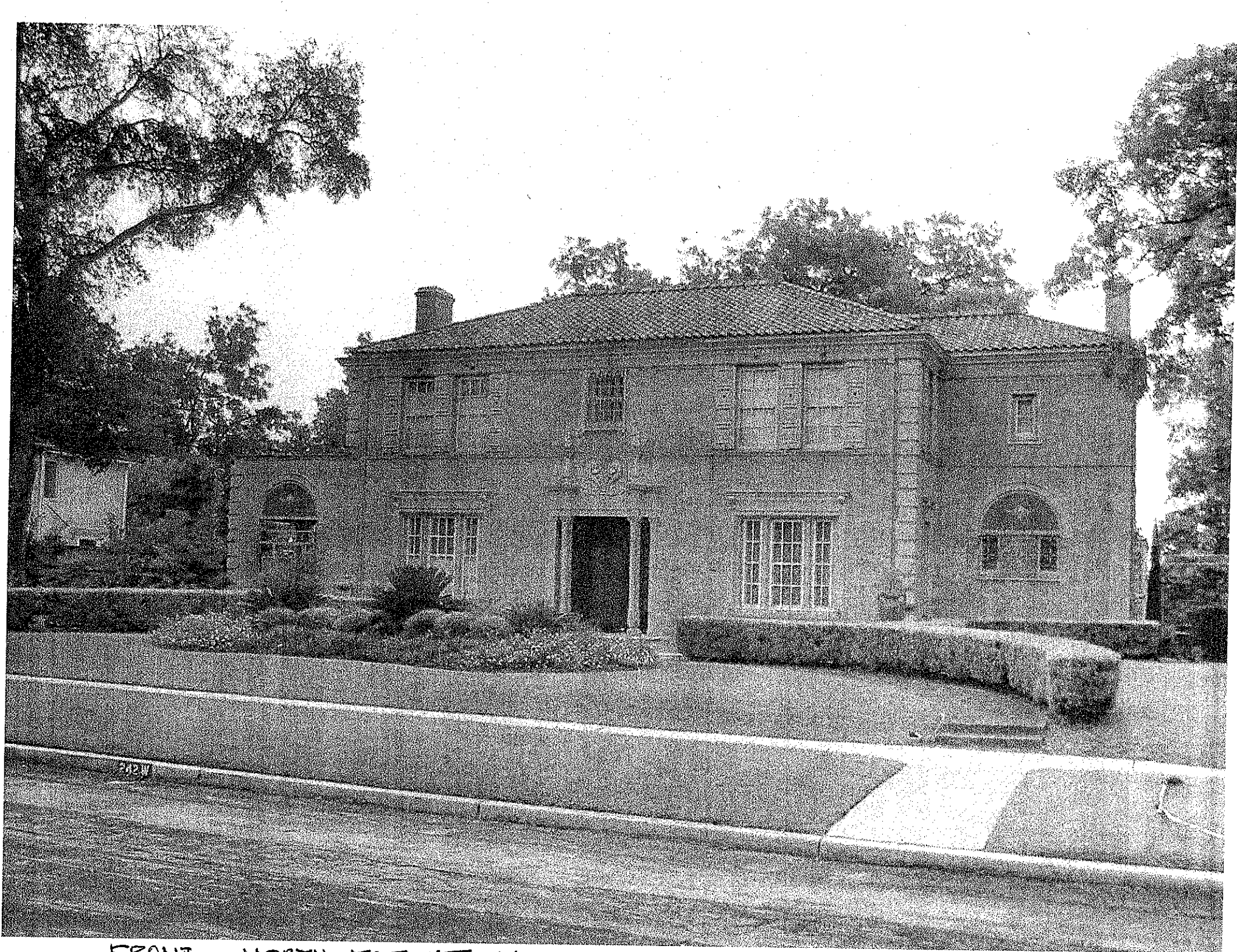
The proposed addition will consist of a new Family Room on the first floor, and a new Master Bedroom/Bath Suite on the second floor. The foot print of the proposed addition is approximately 550 SF, providing a total of 1100 SF of new construction.

The exterior walls of the addition will be face brick matching the existing in height and joint size, of a color a shade lighter or darker, to compliment the existing brick. The brick will be accented with cast stone trim, arched headers and quoins, all which will match the existing cast stone detailing.

The new roof will ^{have} be barrel type, clay tile to match the existing roof, and the fascia and cornice trim will also match existing details.

New windows and doors will be custom made, true divided light wooden replicas of the existing windows and doors. Domed metal awnings are proposed above the first floor French-type double doors at the east and south elevations, to provide shading.

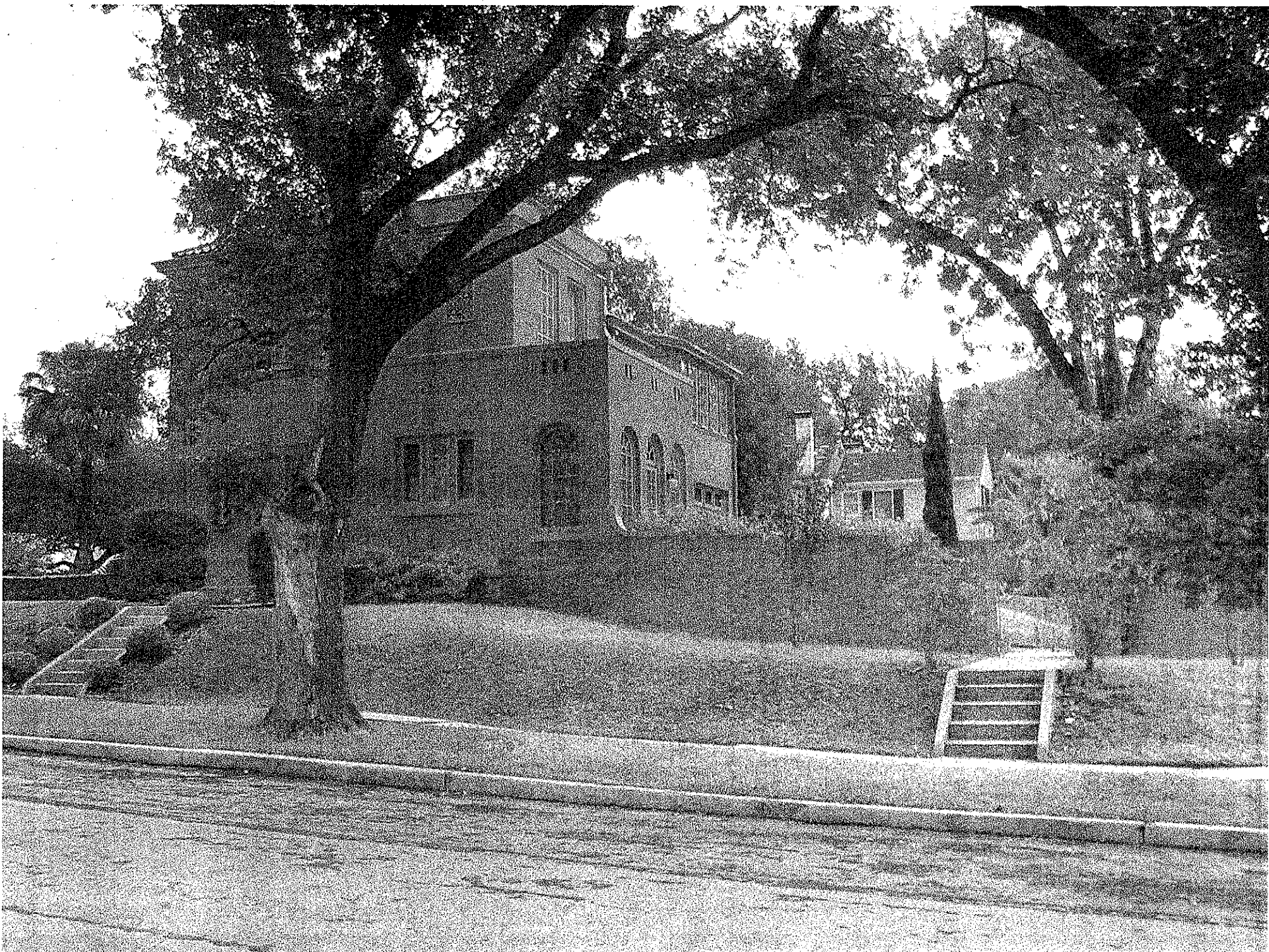
New custom, ornamental iron railings are proposed for the existing second floor balconies since the existing brick railings, or parapets, are typically only 23" – 25" high. The new iron railings will be mounted on the inside face of the parapet walls and will extend a minimum of 36" above the balcony floor in order to comply with the 2003 International Building Code.



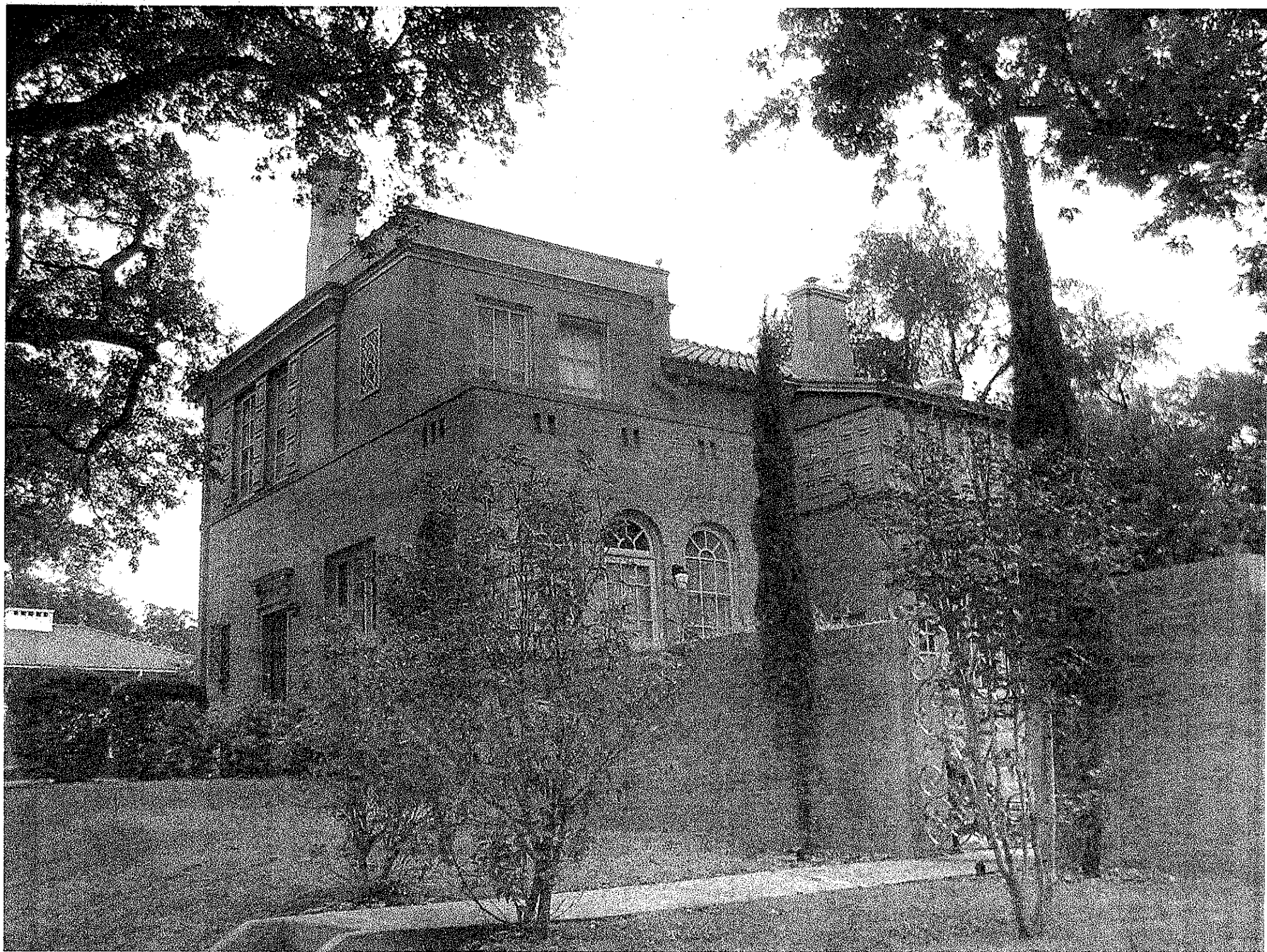
FRONT - NORTH ELEVATION



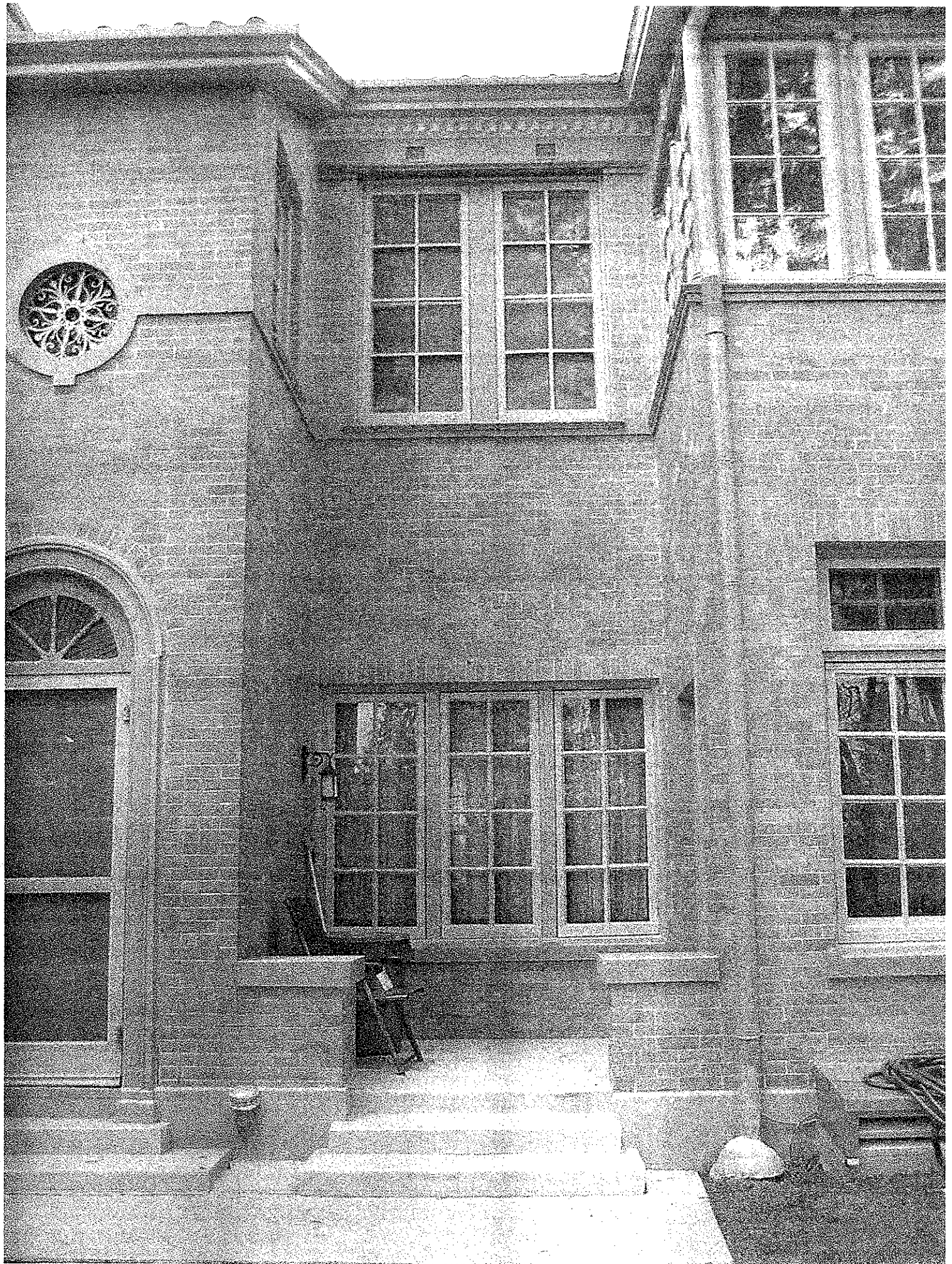
WEST ELEVATION



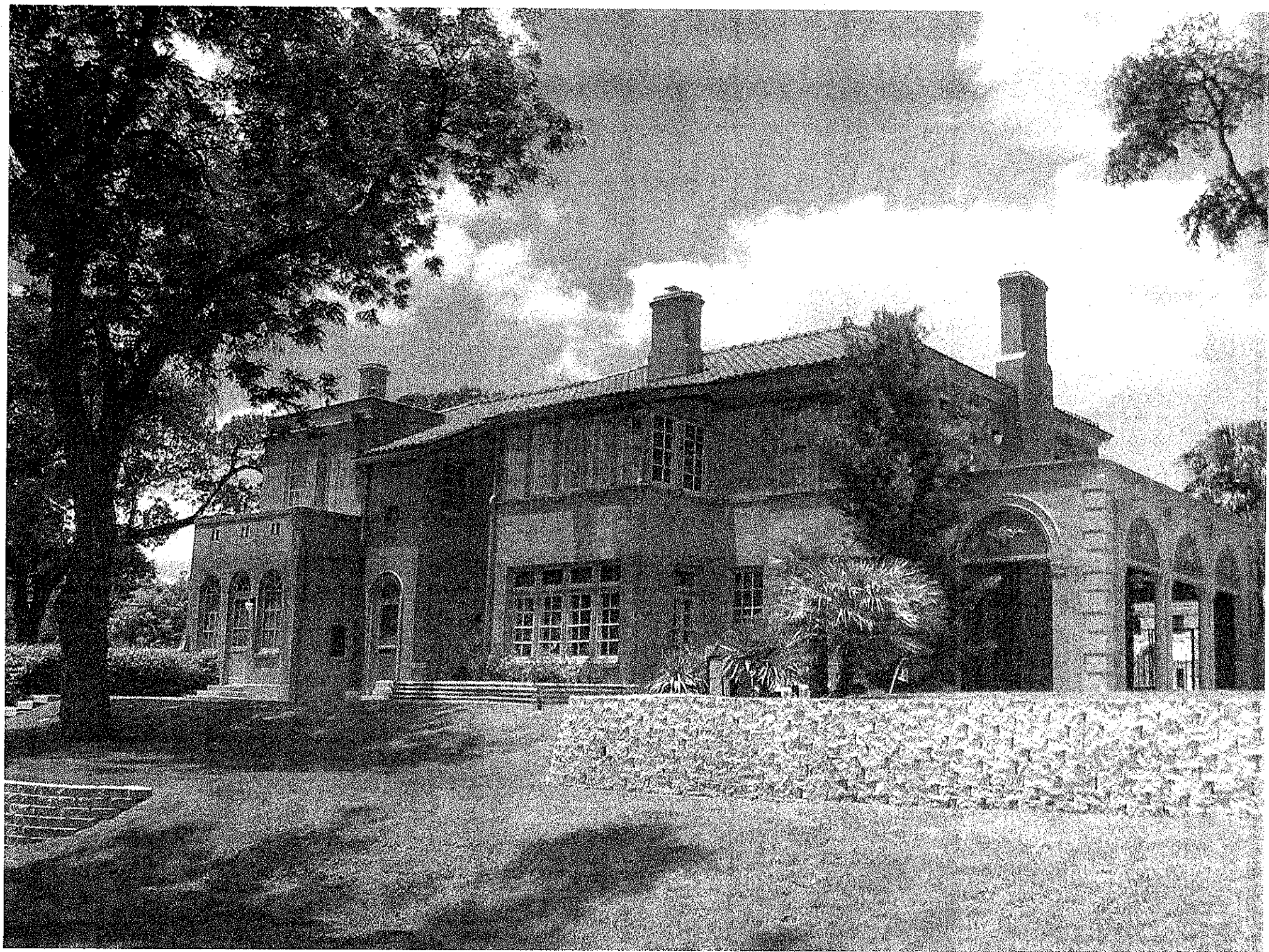
SOUTHWEST ELEVATION



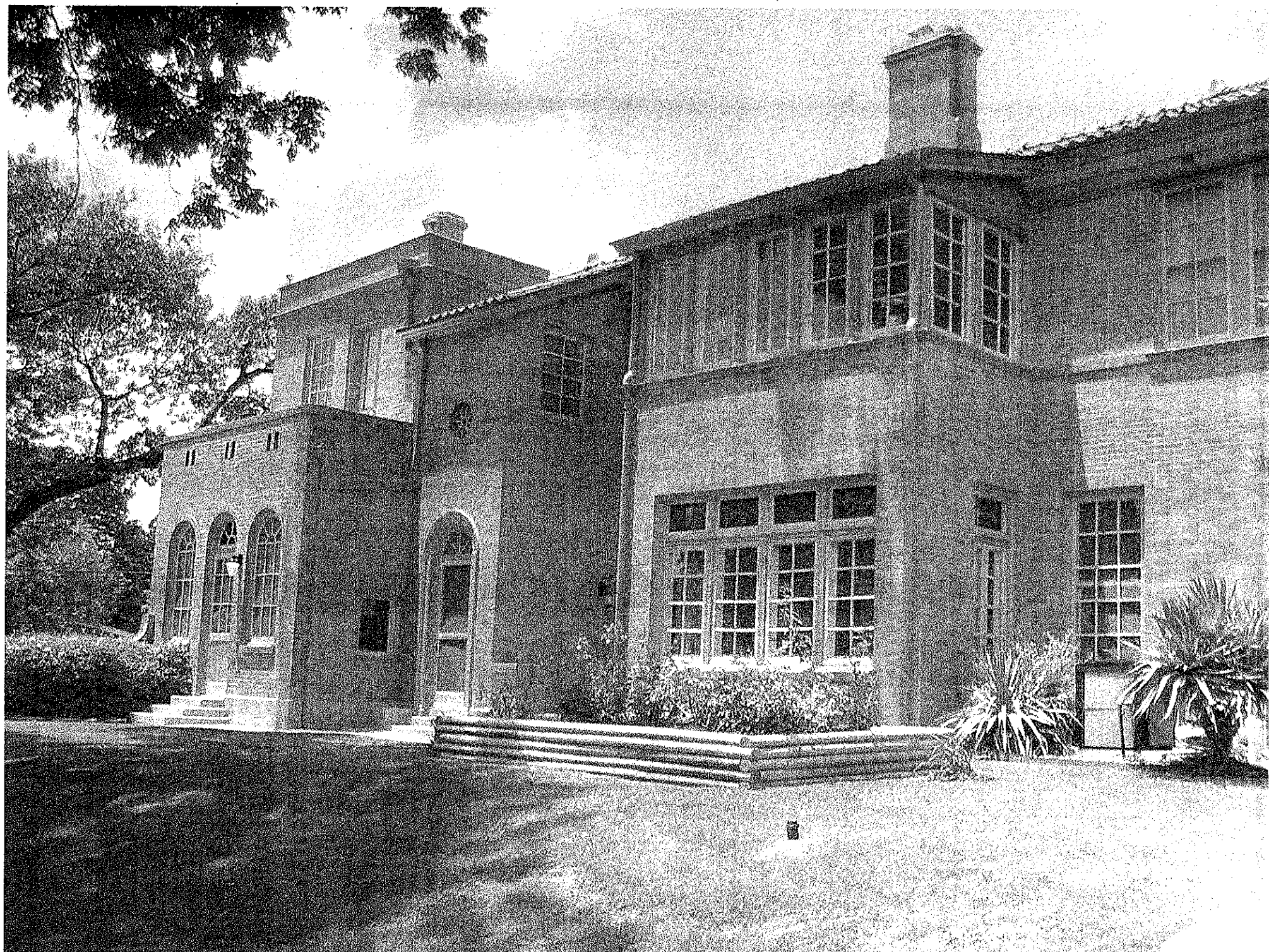
SOUTHWEST ELEVATION



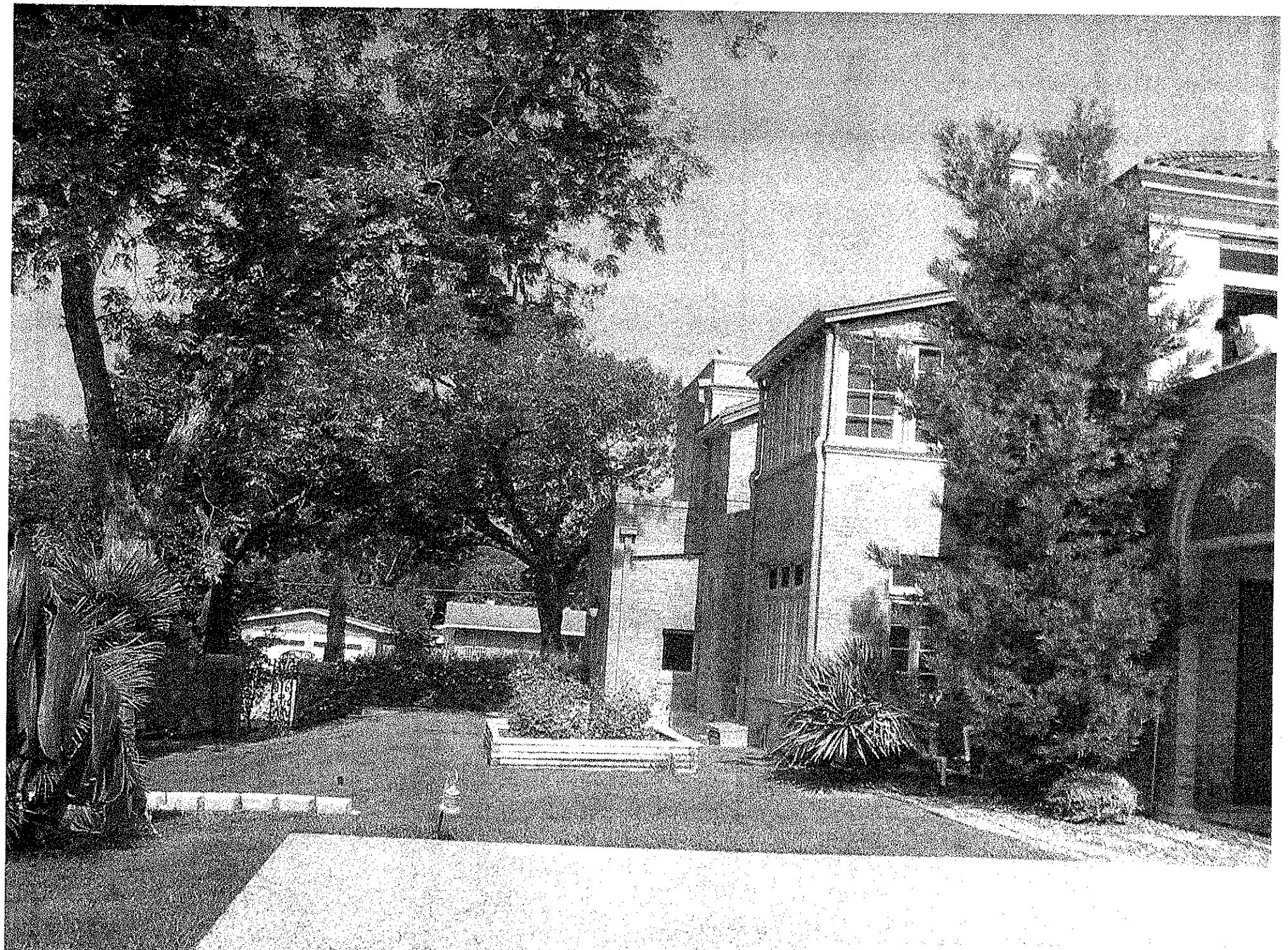
EXISTING PORCH - SOUTH SIDE



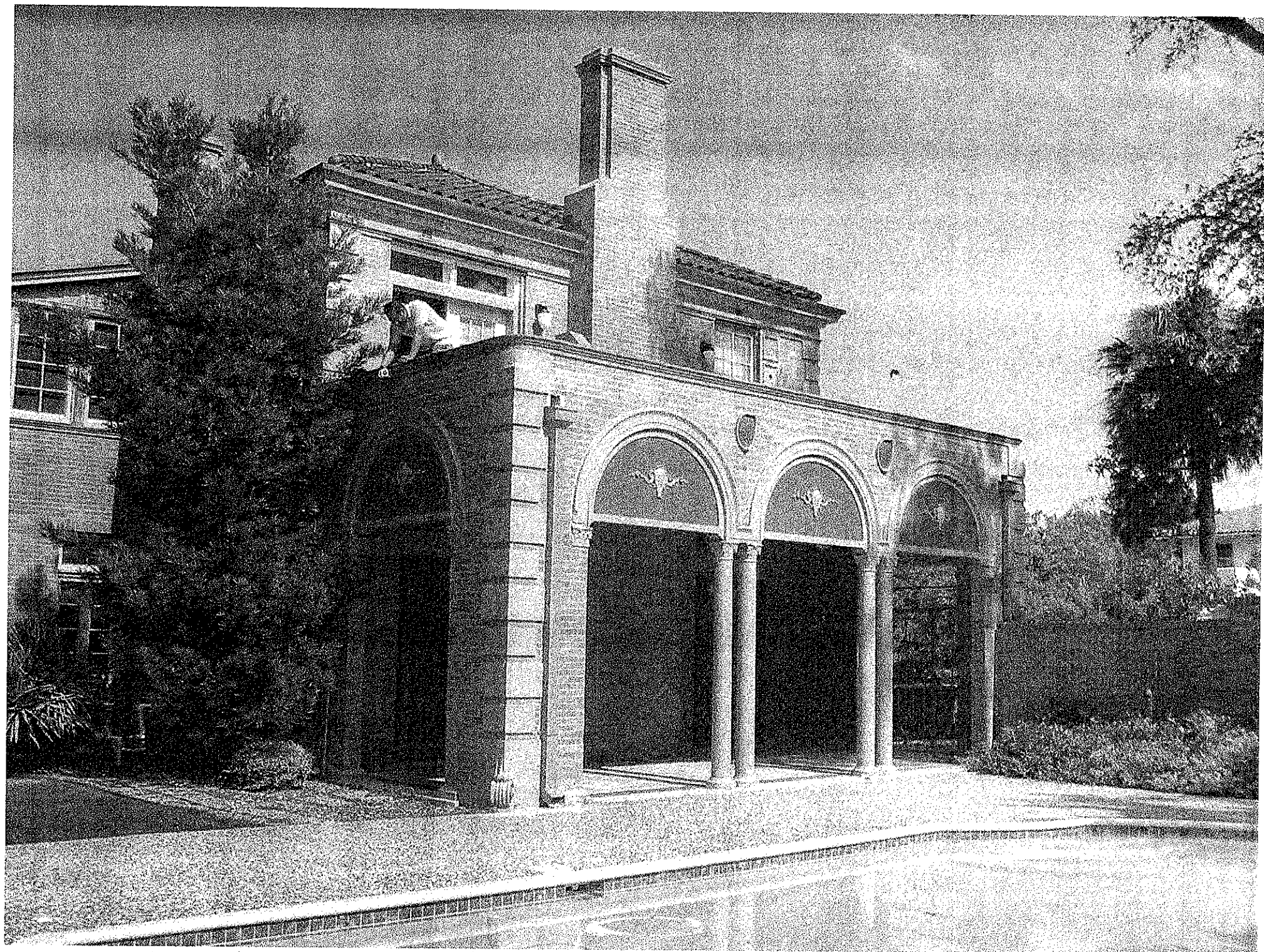
SOUTH ELEVATION



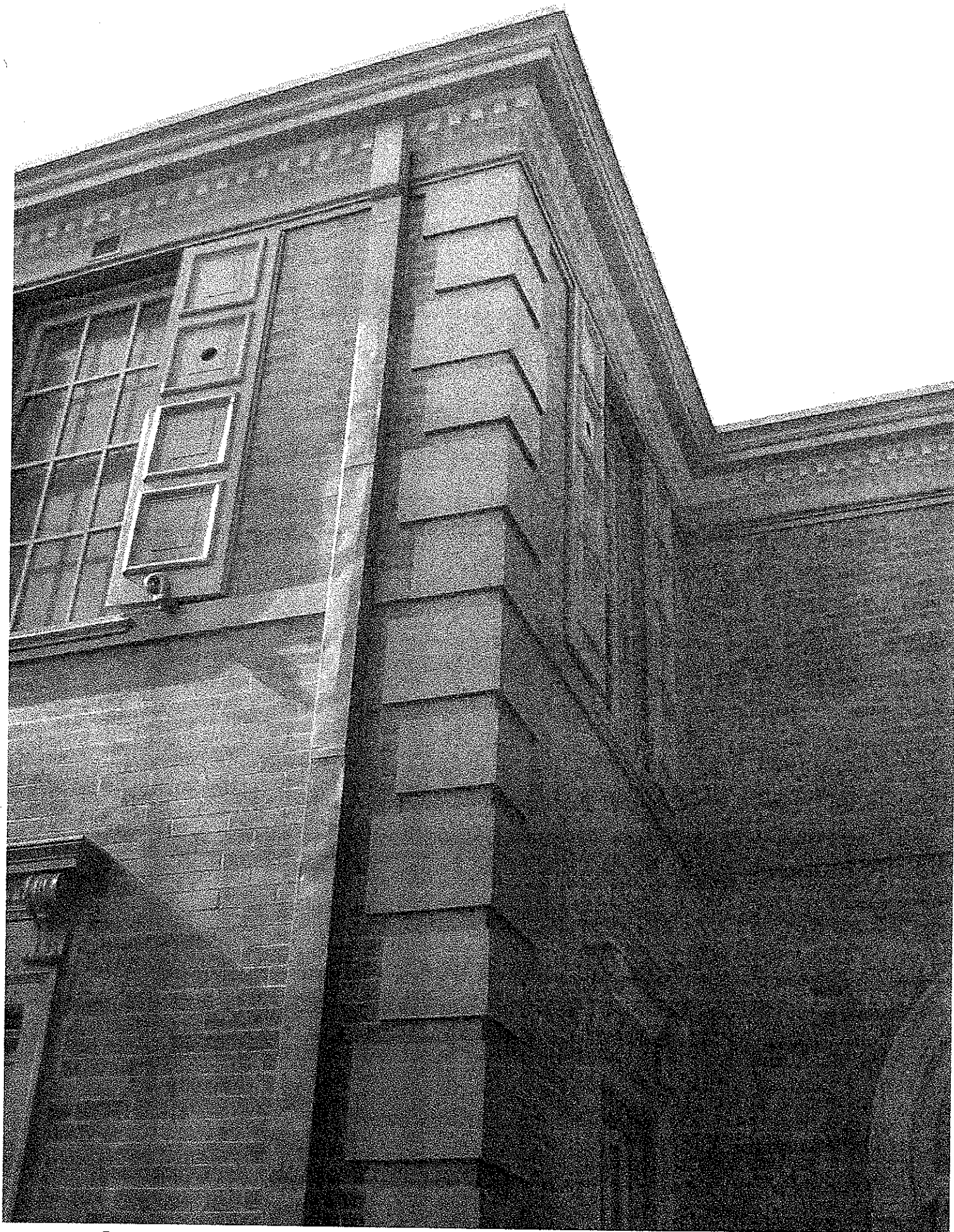
SOUTHWEST ELEVATION - SITE OF ADDITION



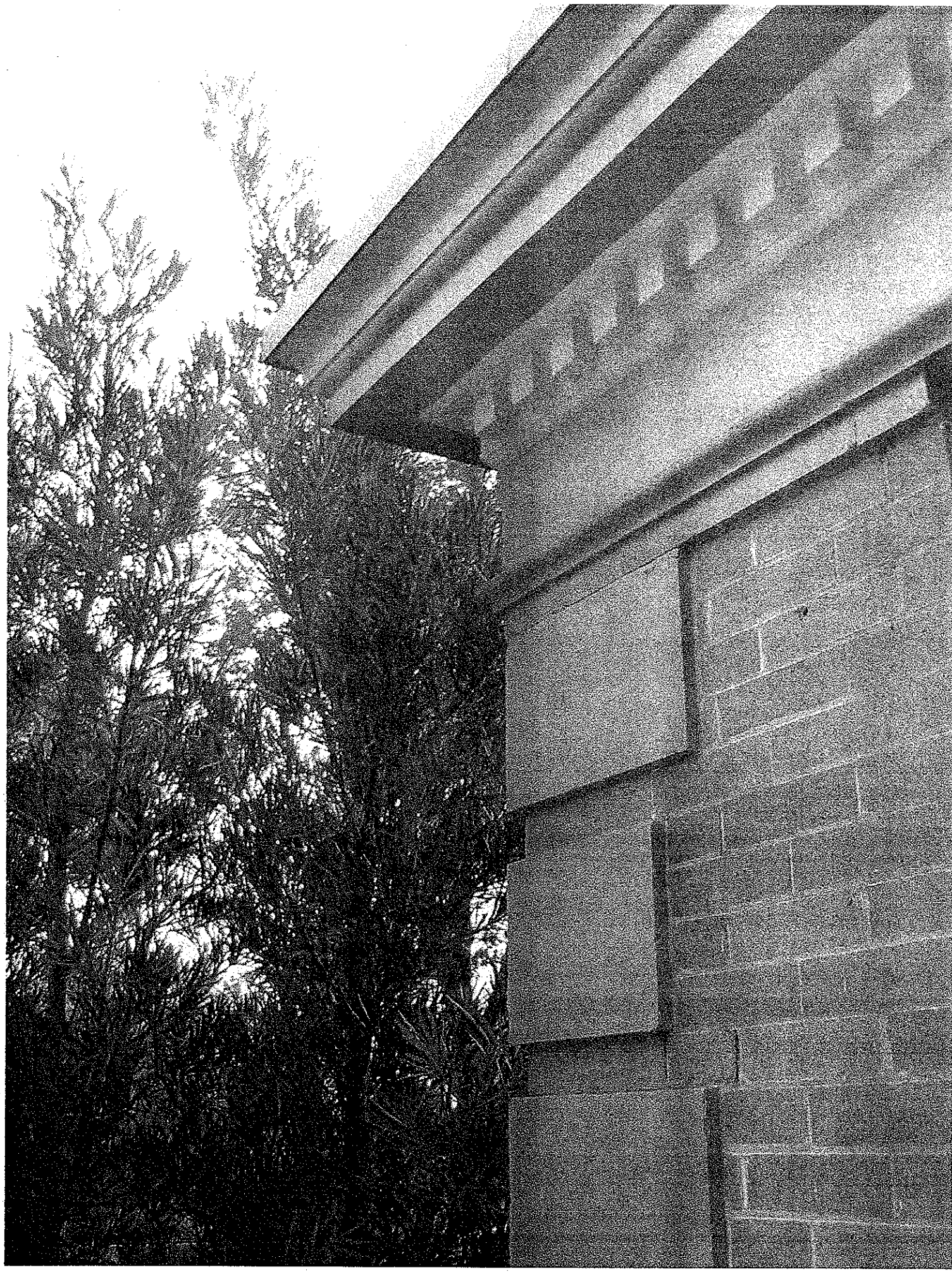
EAST ELEVATION - SITE OF ADDITION



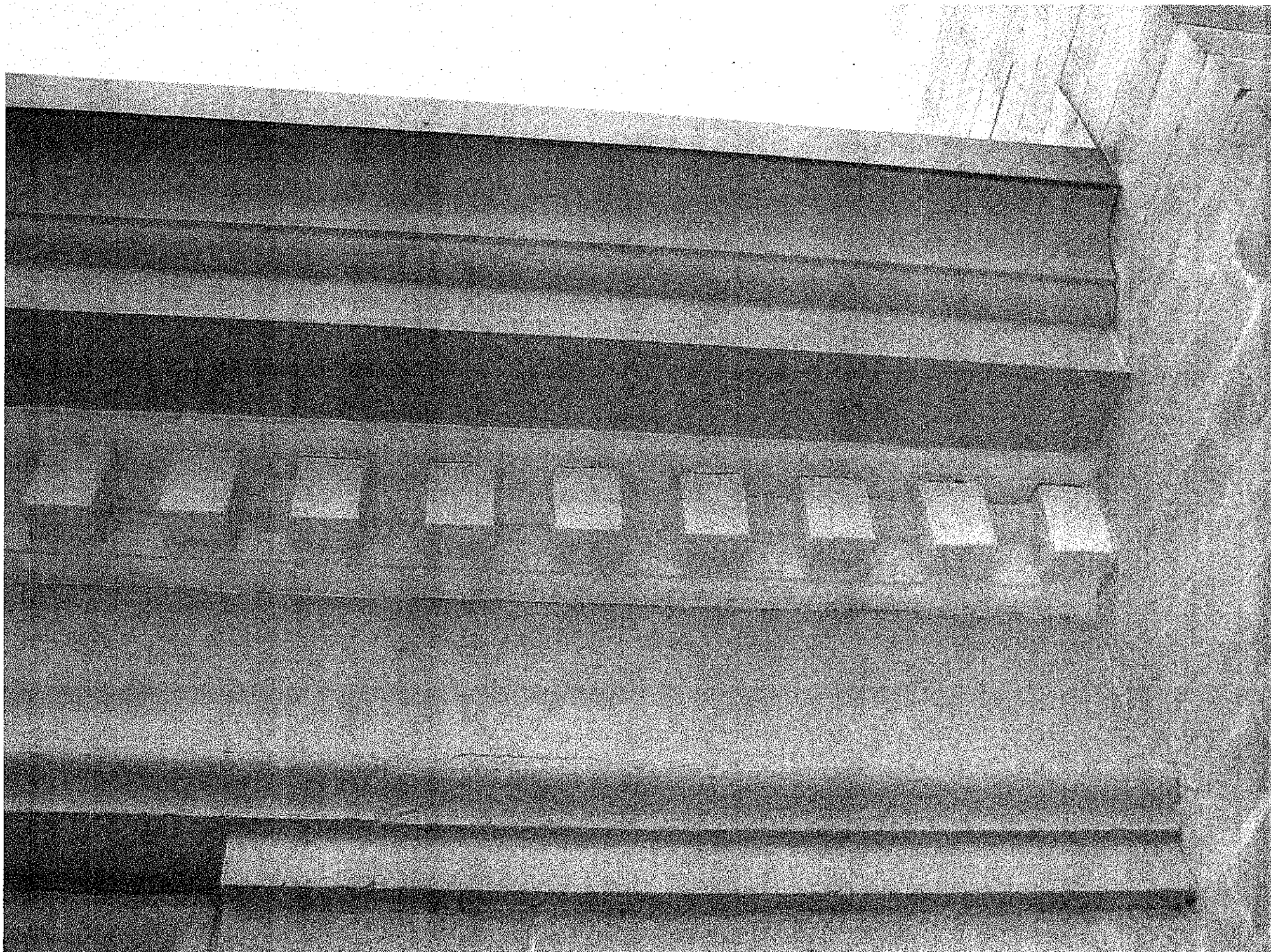
EAST ELEVATION



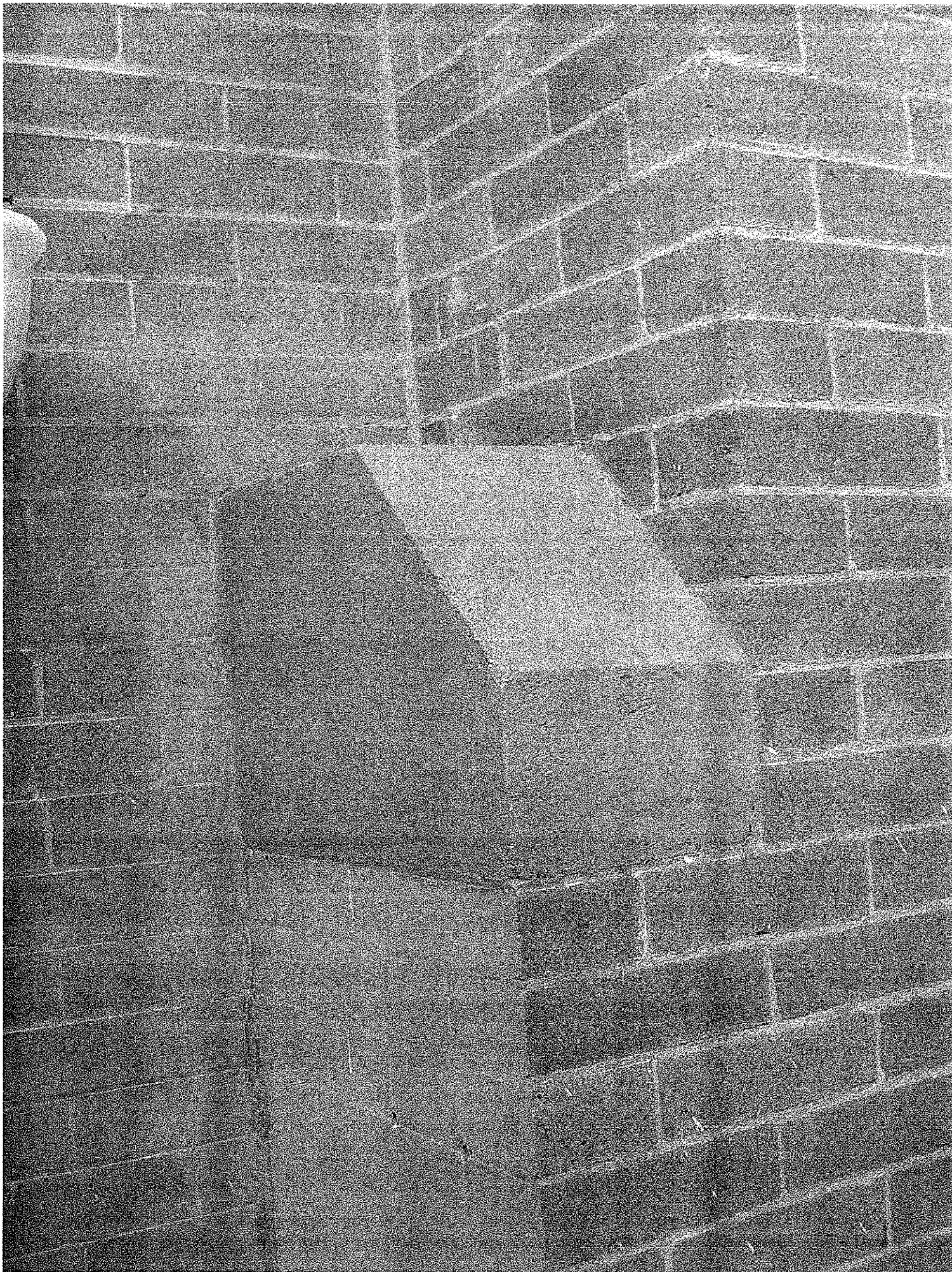
TYPICAL CAST STONE QUOINS



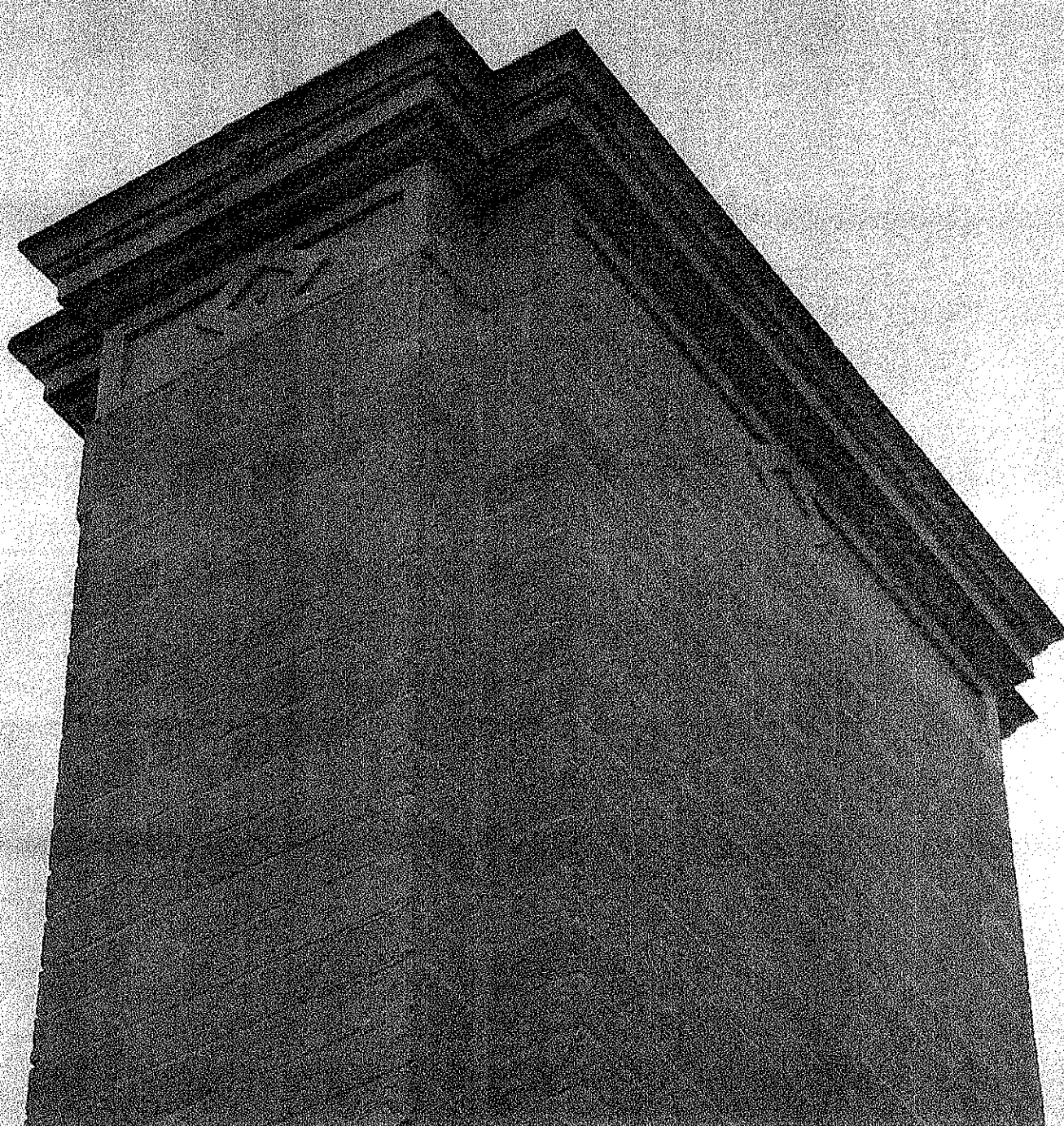
TYPICAL CAST STONE QUOINS + TRIM WITH WOOD CORNICE + OVERHANG



CORNICE



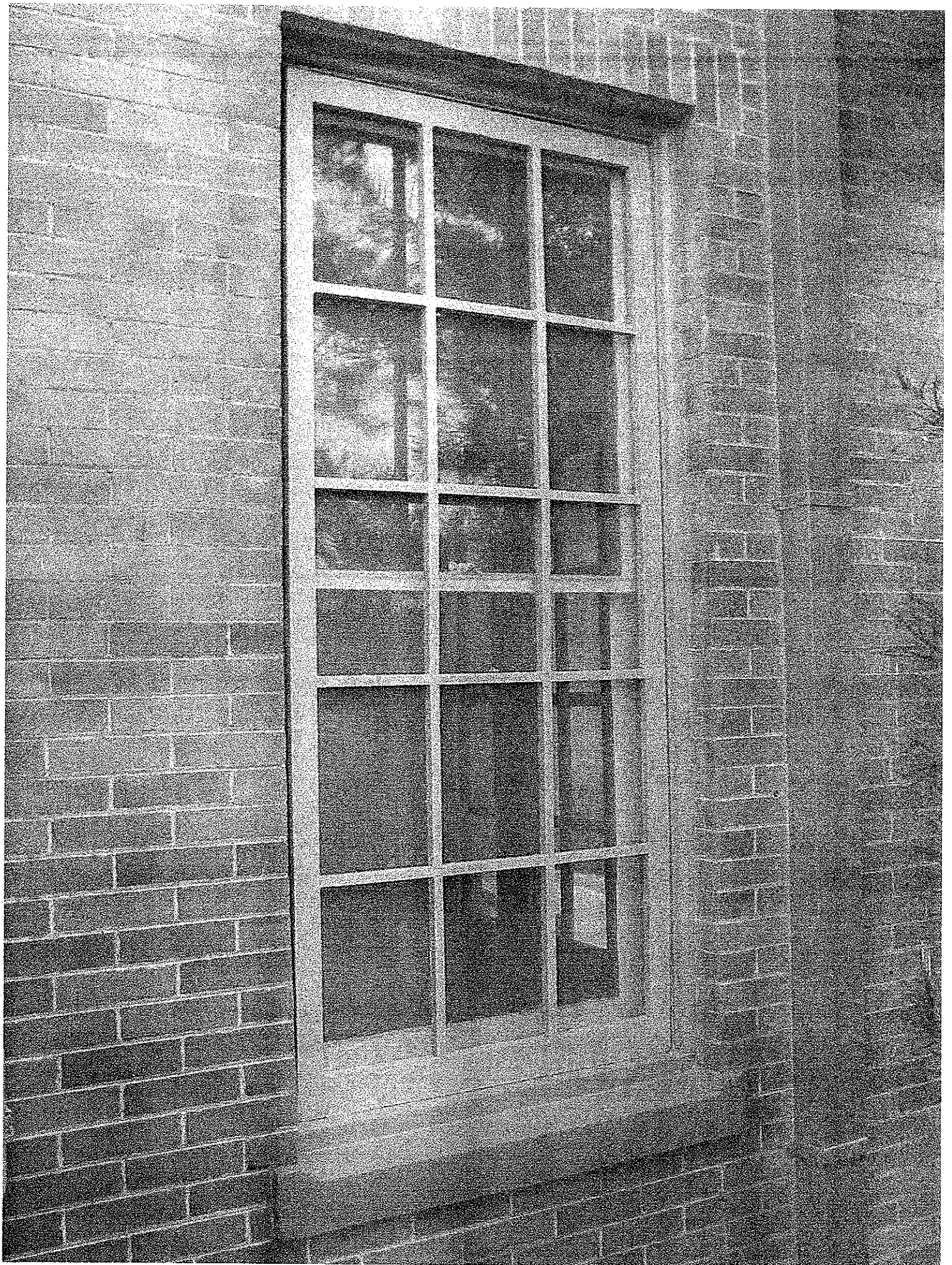
PRECAST STONE AT CHIMNEY



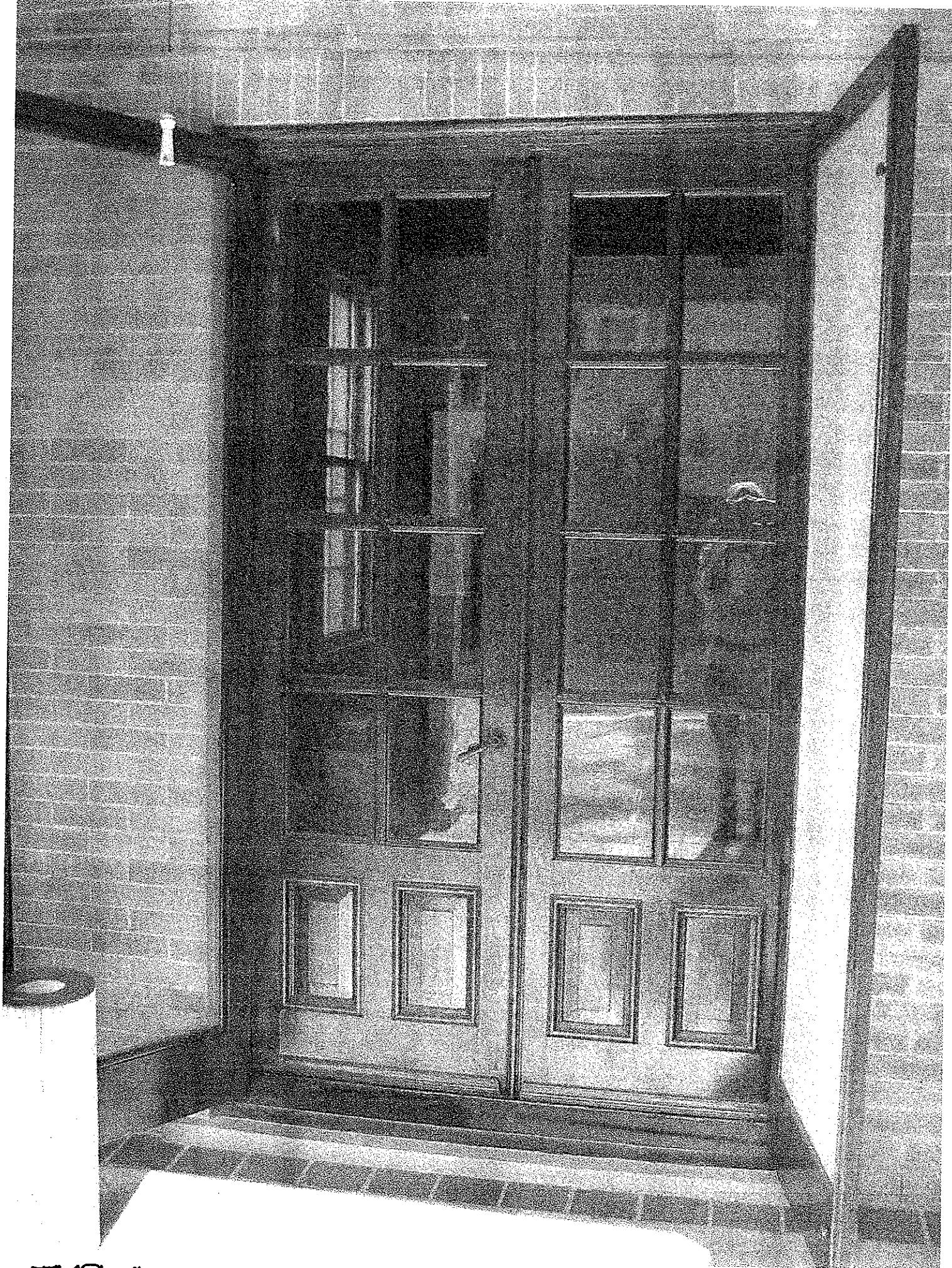
PRECAST STONE CHIMNEY CAP



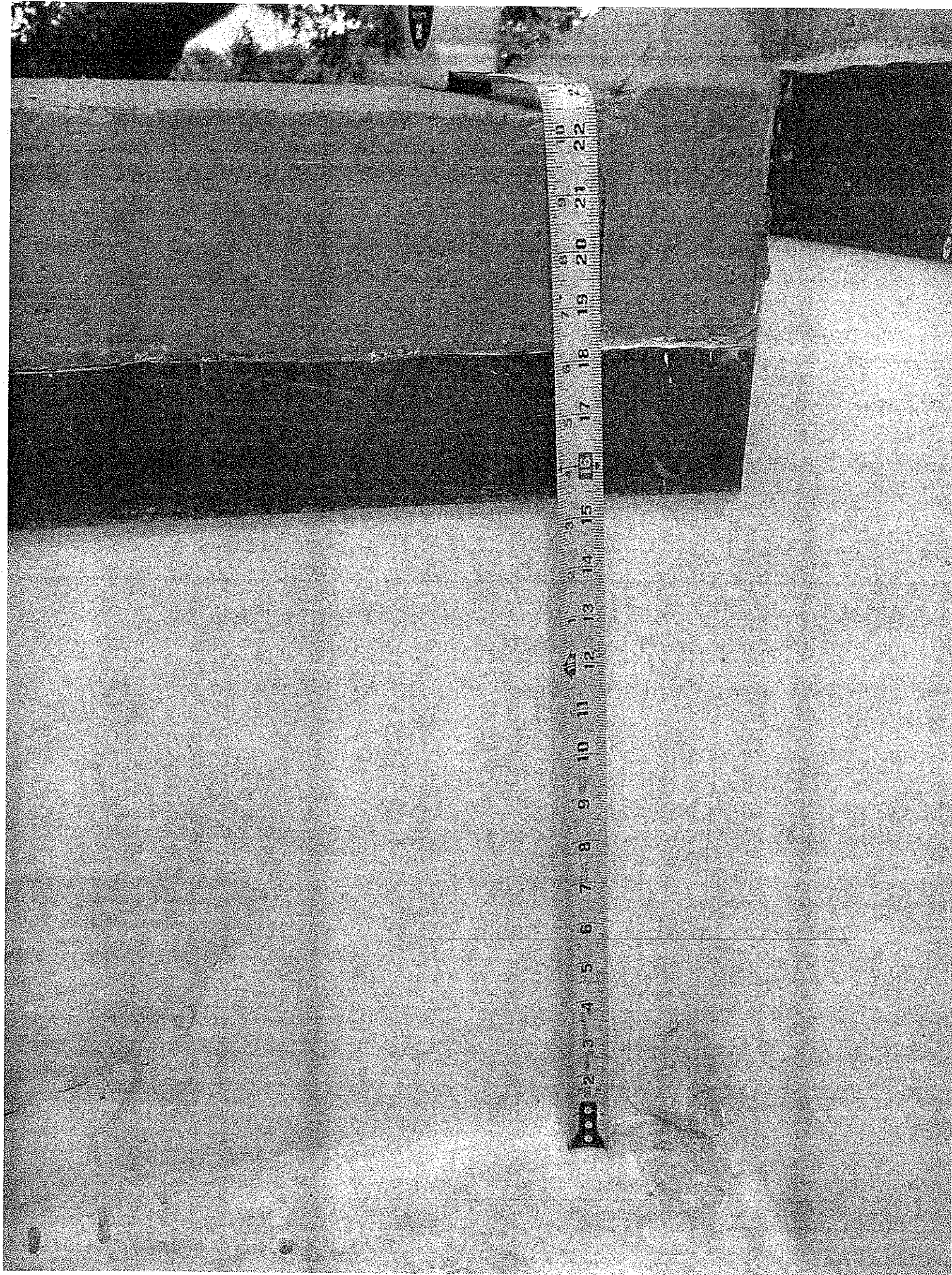
PRECAST STONE HEADER



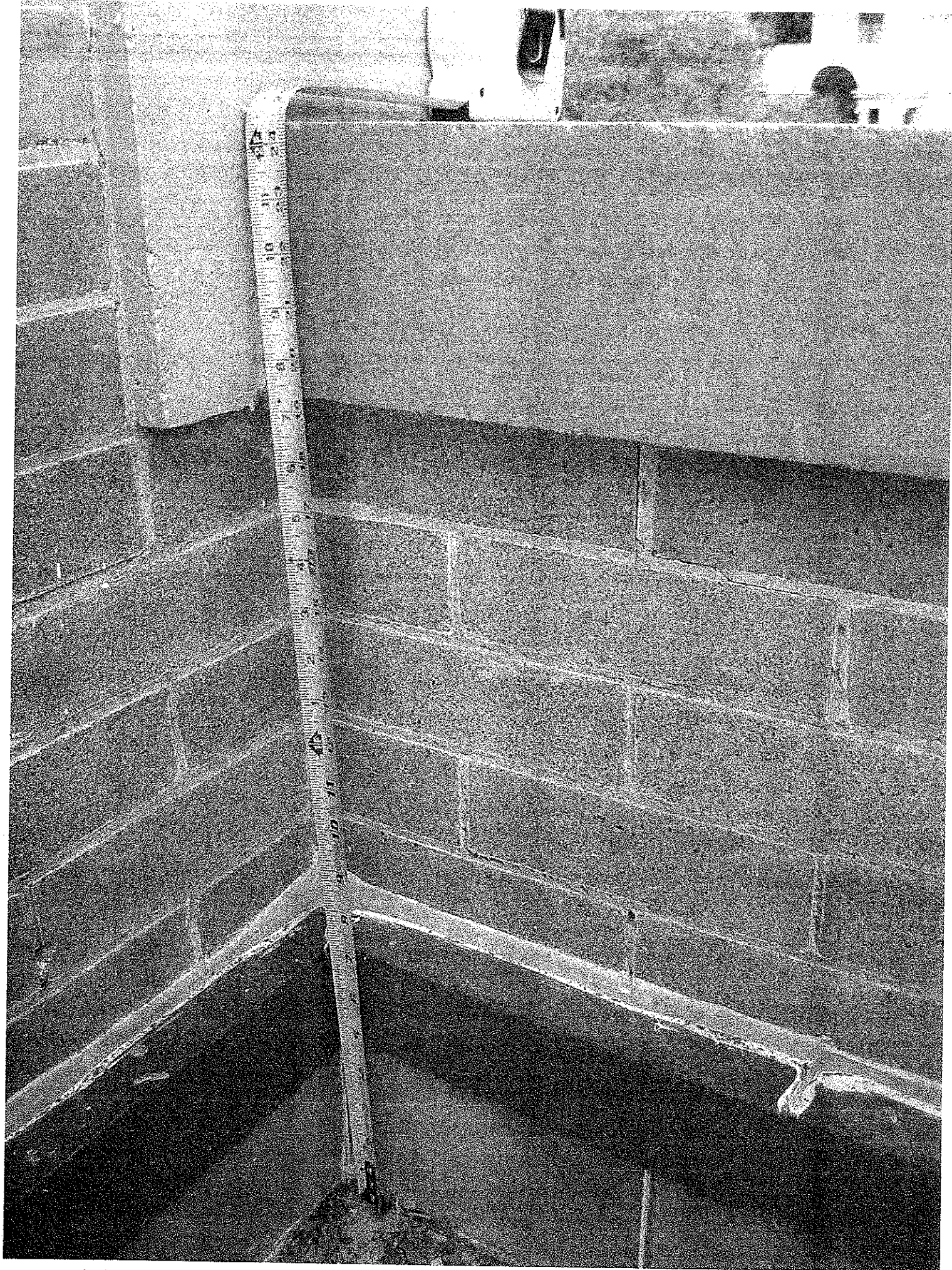
TYPICAL DOUBLE HUNG WINDOW + SCREEN



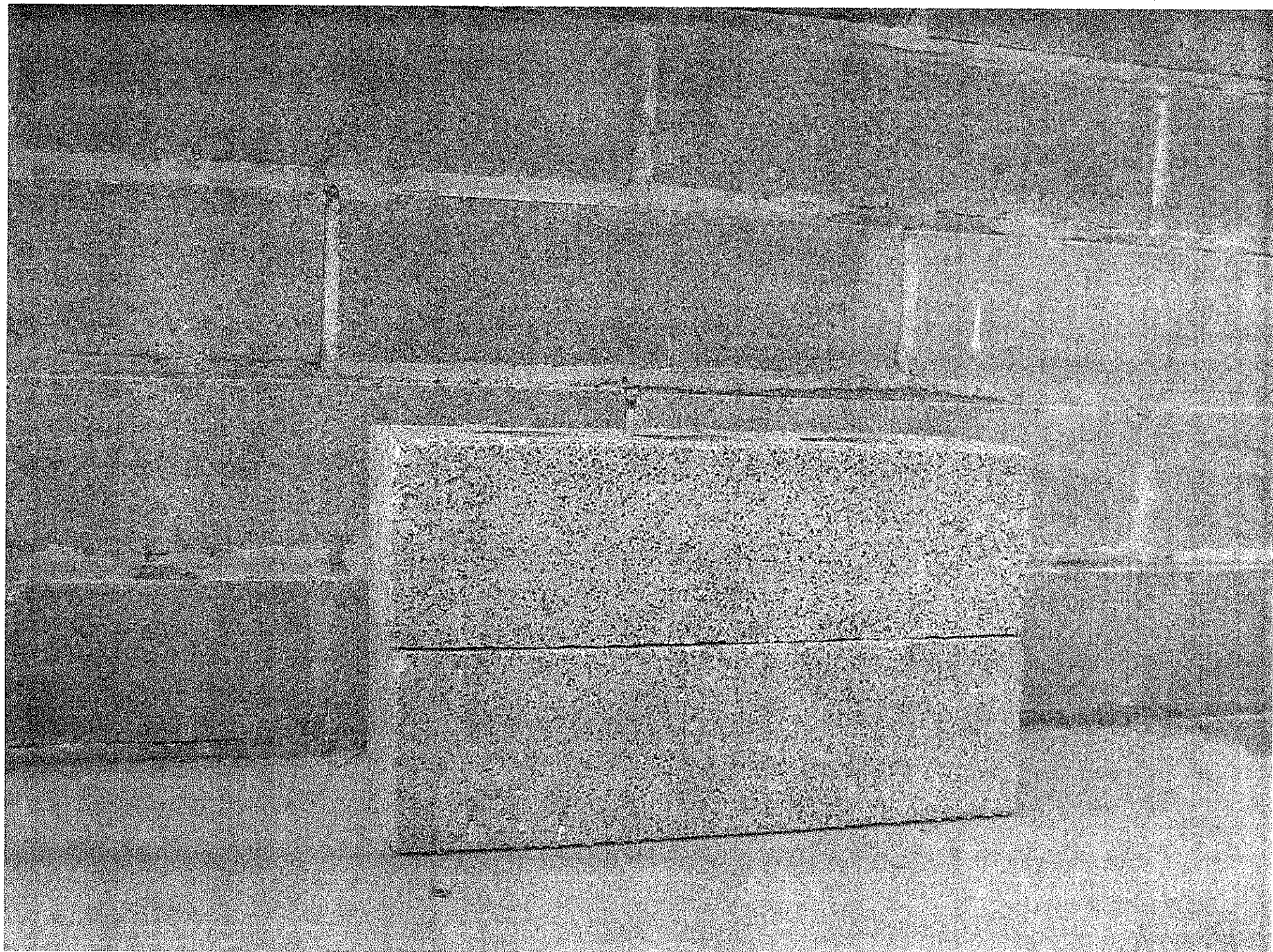
TYPICAL FRENCH DOOR



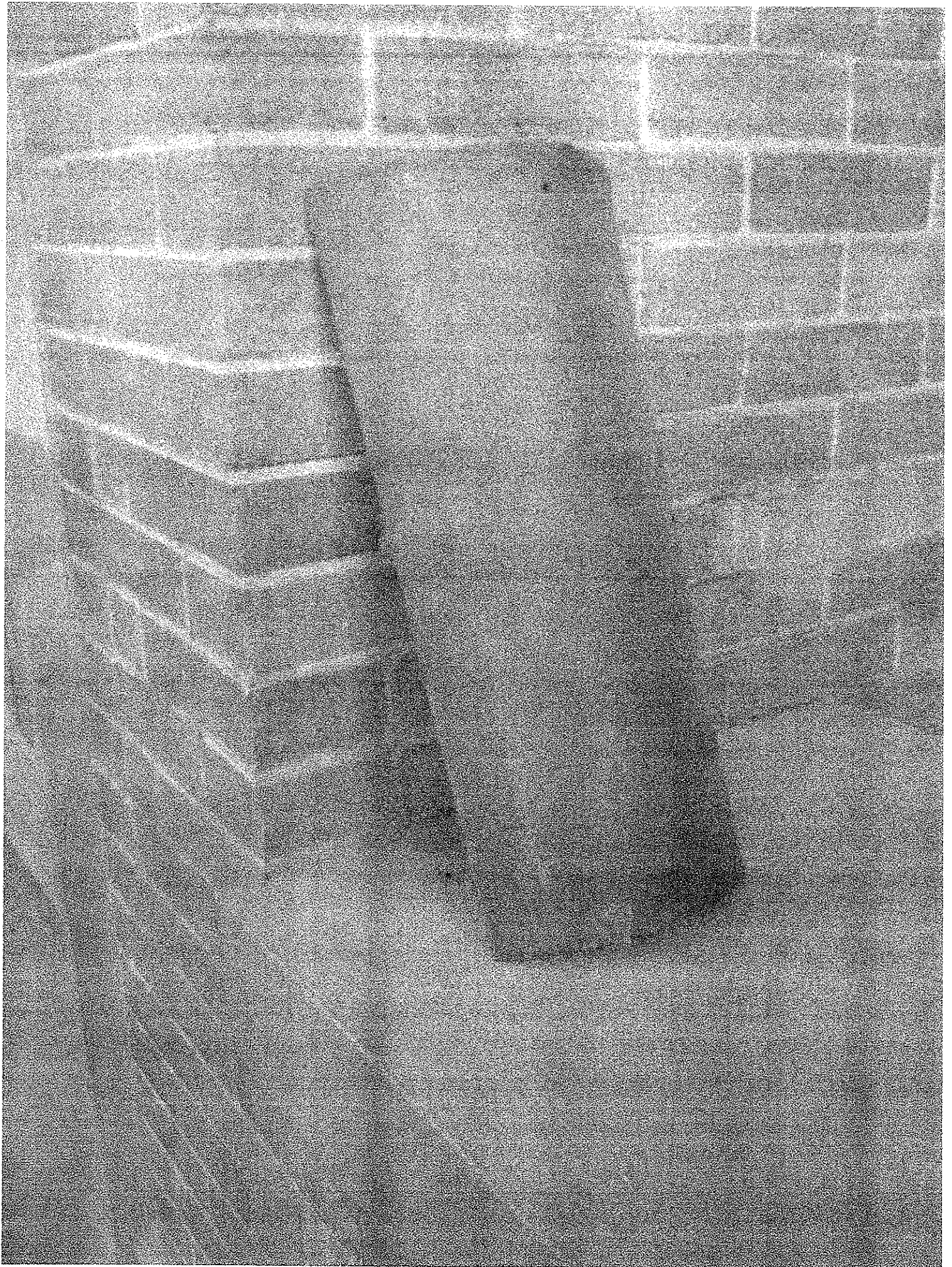
PARAPET WALL AT SOUTHWEST BALCONY



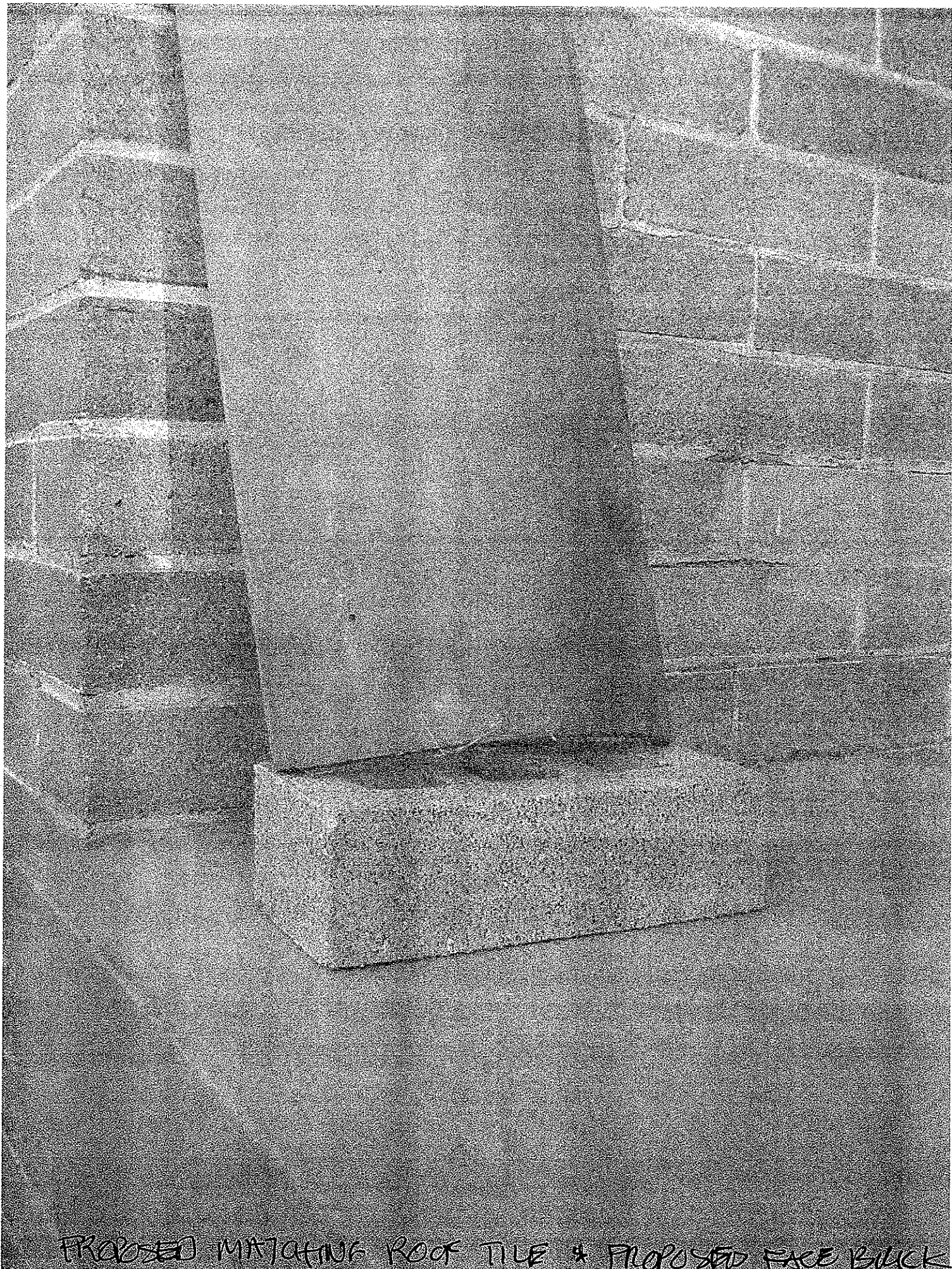
PARAPET WALL AT EAST BALCONY



EXISTING & PROPOSED FACE BRICK



PROPOSED MATCHING ROOF TILE

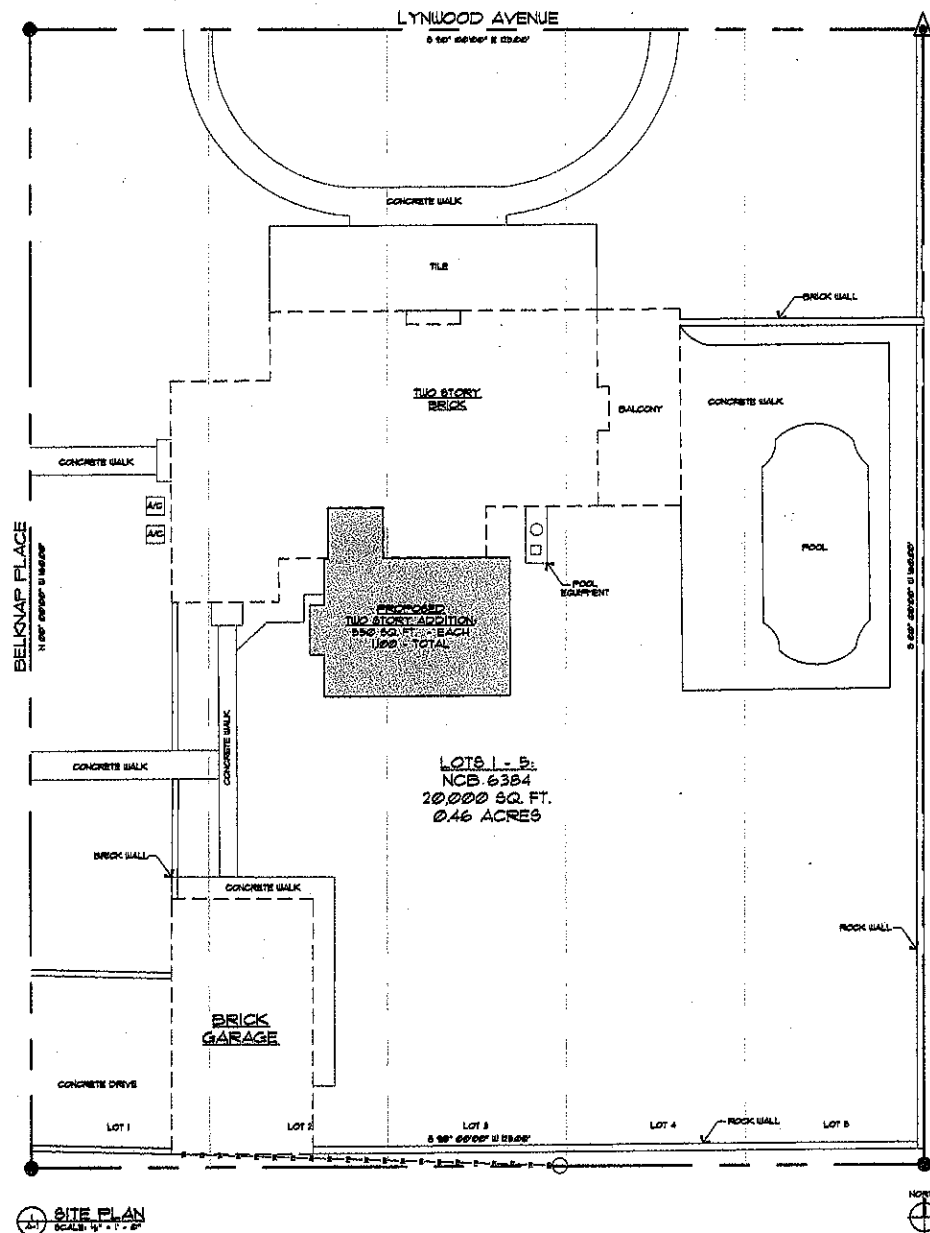


PROPOSED MATCHING ROOF TILE * PROPOSED FACE BRICK



GENERAL NOTES

3. CONTRACTOR TO VERIFY ALL DIMENSIONS AND IDENTIFY CONDITIONS PRIOR TO DEMOLITION.
4. LIMITS OF EXCAVATION FOR NEW ADDITION TO BE RESTRICTED TO THE LEAST AMOUNT OF AREA AS NOT TO DISTURB THE HOUSE AND EXISTING UTILITIES NOT INCLUDED IN THIS PROJECT'S SCOPE OF WORK.
5. SALVAGE ALL MATERIAL AS REQUESTED BY OWNER.
6. ORDER TO PROVIDE CONSTRUCTION BY STRUCTURAL CHANGES OF HOUSE FOR NEW DETACHMENT, BRICK KILN, AND DEMOLITION DETAILS OF EXISTING STRUCTURES. EXISTING FOUNDATION SHALL REMAIN AS FOR REFERENCE PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION OF NEW FOUNDATION.
7. PROVIDE PROPER DRAINAGE AND EXIST BARRIERS DURING CONSTRUCTION TO PREVENT AREAS NOT INCLUDED IN EXCAVATION FROM CONSTRUCTION DRAINAGE.
8. NOTIFY OWNER IN ADVANCE OF ANY DISCONTINUATION OF UTILITY SERVICES PRIOR TO CONSTRUCTION.
9. NOTIFY OWNER PRIOR TO REMOVAL OF ANY TREES, LAWN, OR LANDSCAPING FEATURES.
10. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE AWAY FROM HOUSE DURING THE DURATION OF CONSTRUCTION.
11. CONTRACTOR TO SECURE MATERIALS REQUIRED TO BE STORED ON THE PROJECT.
12. CONTRACTOR TO MAINTAIN THE SECURITY OF THE EXISTING STRUCTURES DURING THE ENTIRETY OF THIS CONSTRUCTION PROJECT.



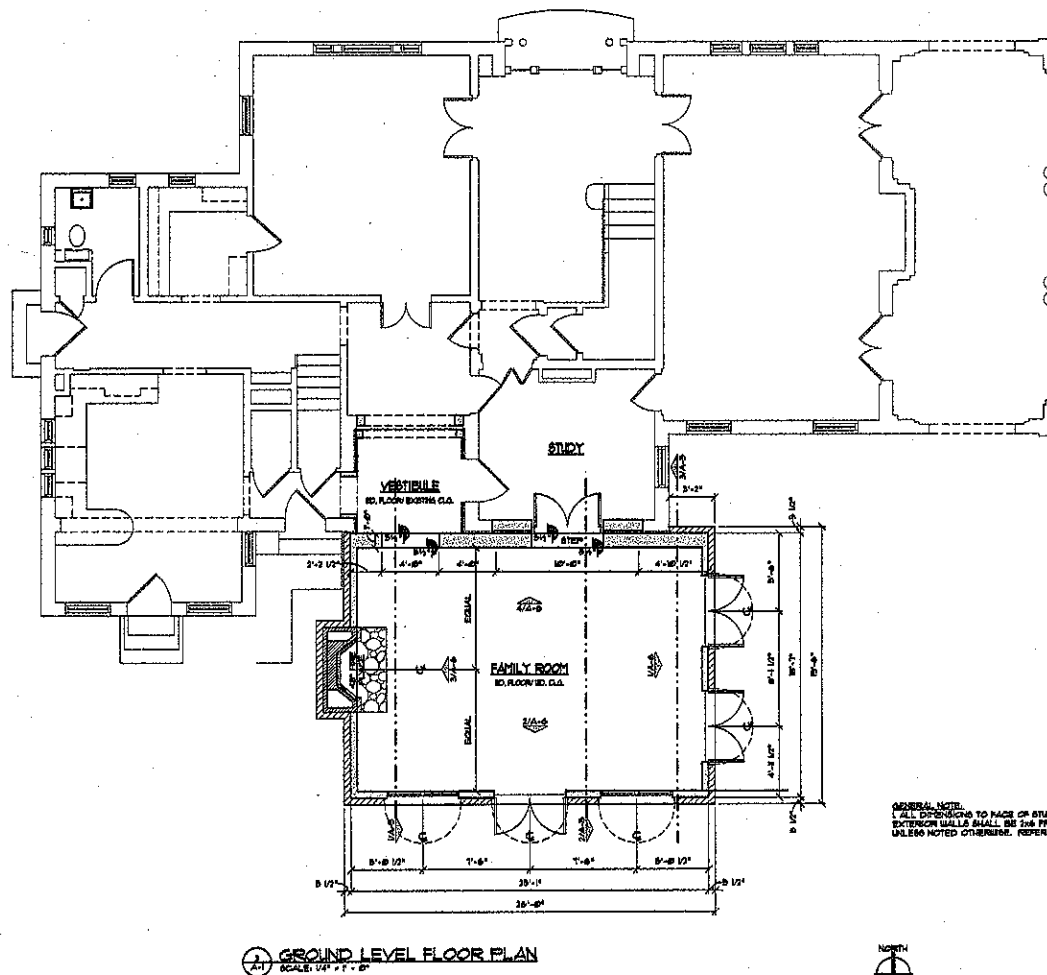
INTERIM REVIEW DOCUMENTS

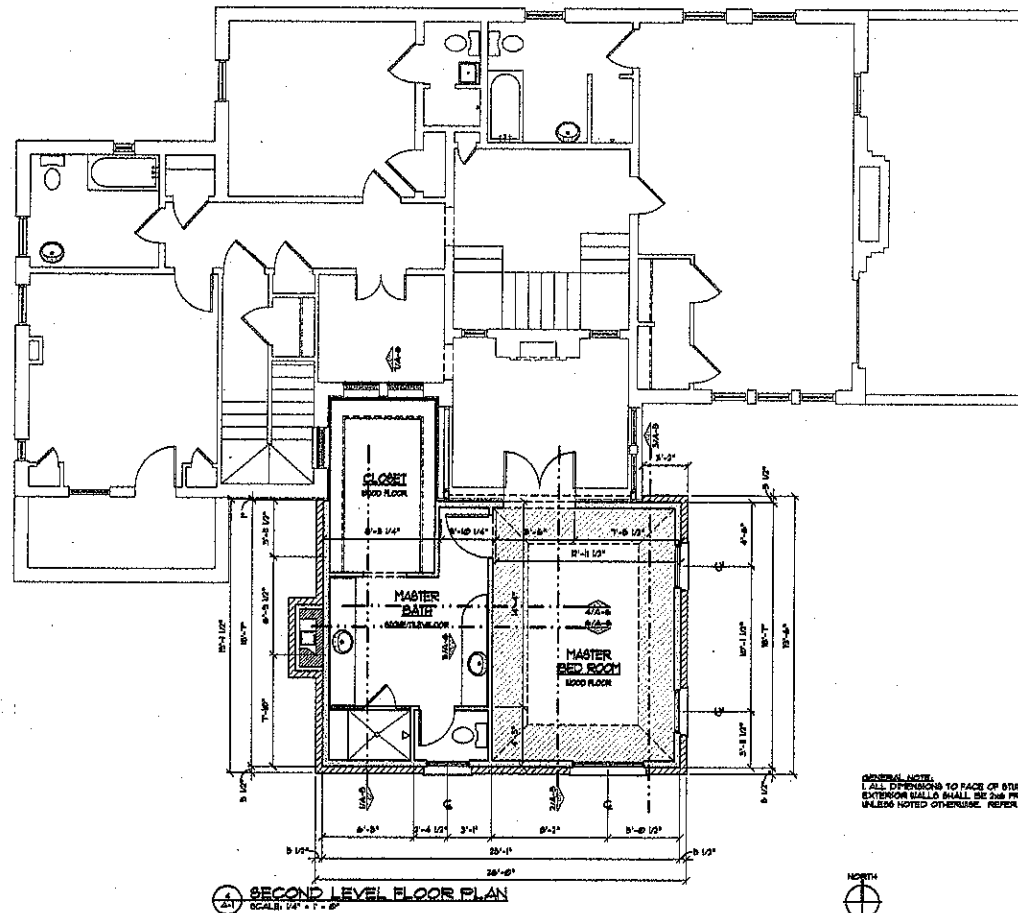
**KELLY RESIDENCE
ADDITION**
242 WEST LYNNWOOD AVE.
SAN ANTONIO, TX. 78212

Robert C. Murray AIA
Architect
1146 E. Rosewood Ave.
Boulder, CO 80501
(303) 440-1146

Drawn By
Child By
Date Issued 09/19/06
Revision#

A-1





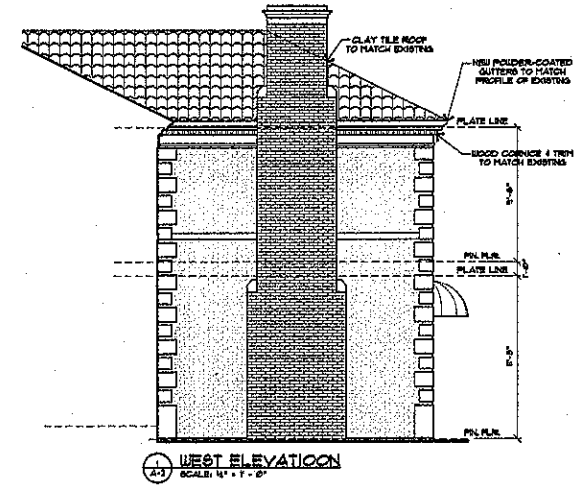
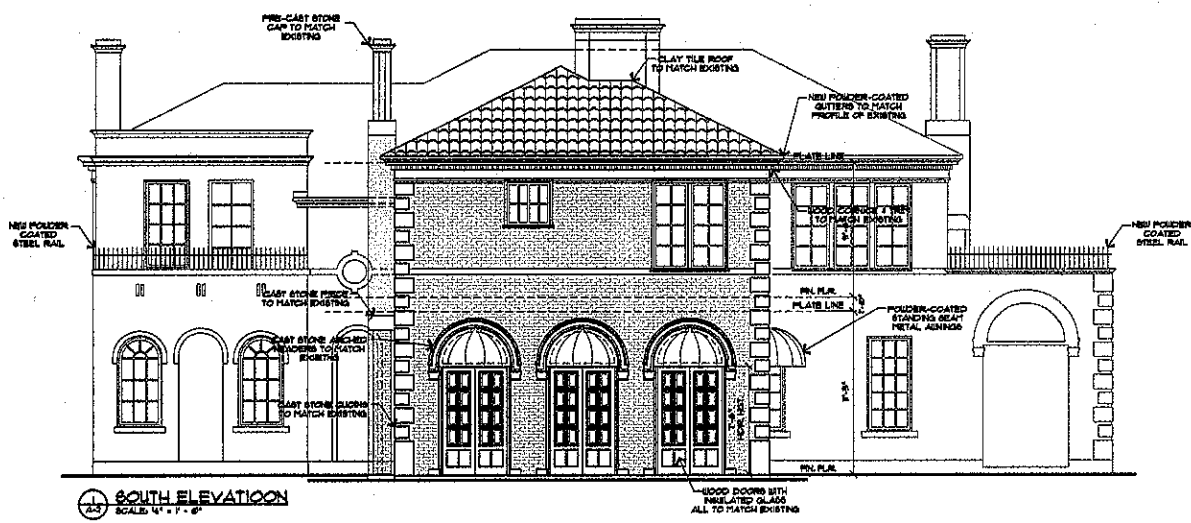
INTERIM REVIEW DOCUMENTS
THIS DOCUMENT IS FOR REVIEW ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE USER TO OBTAIN THE FINAL REVIEWED DOCUMENTS FROM THE ARCHITECT.

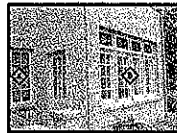
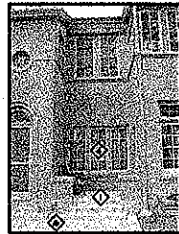
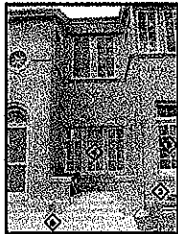
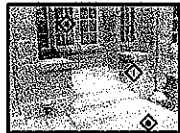
**KELLY RESIDENCE
ADDITION**
245 WEST LYNWOOD AVE.
SAN ANTONIO, TX. 78212

Robert C. Henry AIA
Architect
404 E. Rosewood Ave.
San Antonio, TX 78204
Tel: 214.521.1111

Drawn By:	
Check By:	
Date Issued:	09/19/06
Revisions:	

A-3





DEMOLITION NOTES

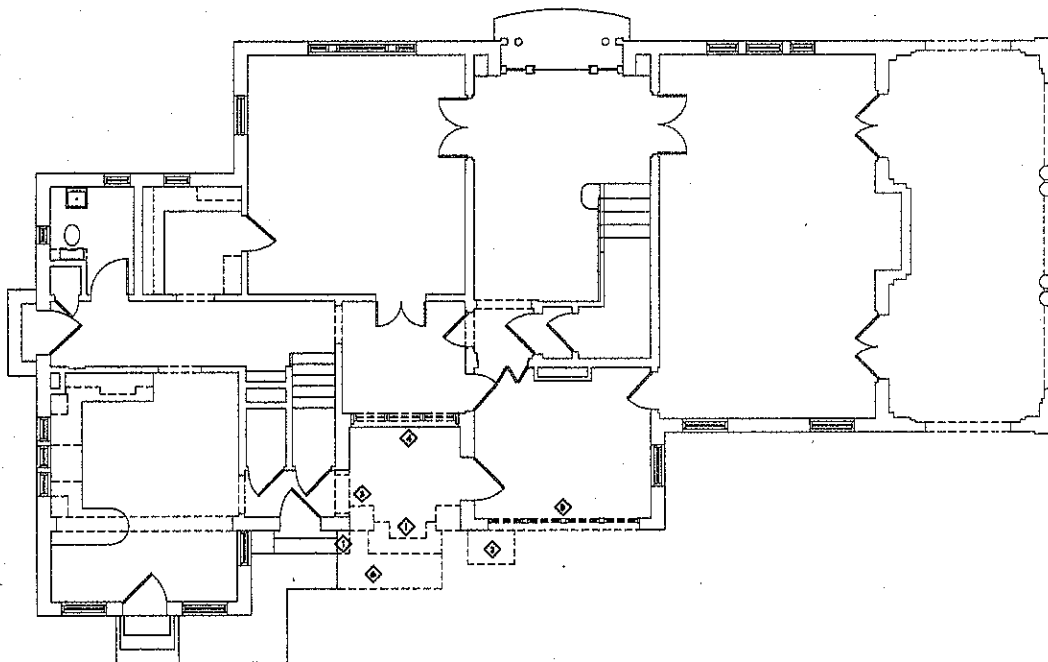
1. REMOVE CONCRETE STAIN, PREP FLOOR SURFACE FOR NEW FLOORING.
2. REMOVE CRACK SPACE ACCESS.
3. REMOVE PLASTER WALL FOR NEW CASED OPENING. REFER TO STRUCTURAL FOR LATER INFO.
4. REMOVE WINDOW, SILL, & WALL BELOW FOR NEW CASED OPENING.
5. REMOVE WINDOW, SILL, & WALL BELOW. PREP FLOOR SURFACE AND PATCH/REPAIR TO RECEIVE NEW GOOD FRENCH DOOR UNIT.
6. REMOVE PORTION OF SIDEWALK FOR NEW ADDITION.
7. REMOVE WINDOW, SILL, & WALL BELOW FOR NEW CASED OPENING.
8. EXISTING WINDOW TO REMAIN. PROVIDE PLASTER WALL SYSTEM BRILL TO ALLOW EXISTING ADJACENT PLASTER WALL.
9. REMOVE SCOTT, TRIM, FENCE, AND OVERLANDS WHERE REQUIRED BY CONTRACTS OF NEW ADDITION.

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO DEMOLITION.
2. LIMITS OF EXCAVATION FOR NEW ADDITION TO BE RESTRICTED TO THE LEAST AMOUNT OF AREA, AS NOT TO DISTURB THE HOUSE AND OTHER SITE FEATURES NOT INCLUDED IN THIS PROJECT'S SCOPE OF WORK.
3. SALVAGE ALL MATERIAL, AS REQUESTED BY OWNER.
4. OWNER TO PROVIDE CONTRACTOR WITH STRUCTURAL DRAWINGS OF NEW FOUNDATION DETAILS, BEAM SIZES, AND CONNECTION DETAILS OF NEW TO EXISTING. THE STRUCTURAL INFORMATION IN THESE DRAWINGS ARE FOR REFERENCE PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.
5. PROVIDE PROPER DERRIS AND DUST BARRIERS DURING CONSTRUCTION TO MINIMIZE AREAS NOT INCLUDED IN EXPANSION PROJECT CONSTRUCTION DERRIS.
6. NOTIFY OWNER IN ADVANCE OF ANY DISCONNECTION OF UTILITY SERVICES PRIOR TO PROCEEDING.
7. NOTIFY OWNER PRIOR TO REMOVAL OF ANY TREES, LIMBS, OR LANDSCAPING FEATURES.
8. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE AWAY FROM HOUSE DURING THE DURATION OF CONSTRUCTION.
9. CONTRACTOR TO SECURE MATERIALS REQUIRED TO BE STORED ON THE JOB SITE.
10. CONTRACTOR TO MAINTAIN THE SECURITY OF THE EXISTING RESIDENCE DURING THE ENTIRETY OF THIS CONSTRUCTION PROJECT.

GENERAL NOTES (CONT.)

11. ALL DEMOLITION WORK TO BE DONE IN COMPLETE ACCORDANCE WITH LOCAL CODES AND ORDINANCES, FEDERAL SAFETY AND ENVIRONMENTAL REGULATIONS AND INDUSTRY STANDARDS.
12. DEMOLITION DRAWINGS INDICATE GENERAL EXTENT OF DEMOLITION OF EXISTING ITEMS OF CONSTRUCTION AS REQUIRED FOR NEW CONSTRUCTION. INSTALLATION OF NEW MATERIALS, ITEMS OF EQUIPMENT, ETC. AS INDICATED ELSEWHERE ON THESE DRAWINGS AND ARE NOT INTENDED TO INDICATE EVERY ITEM OF DEMOLITION REQUIRED TO COMPLETE WORK.
13. CONTRACTOR SHALL SCHEDULE DEMOLITION OF EXISTING RELATED ITEMS (I.E. ROOF, WALLS, DOORS, AND WINDOWS) TO COORDINATE WITH INSTALLATION OF NEW CONSTRUCTION. PROVIDE POSITIVE WATER TIGHT PROTECTION OF OPENINGS IN BUILDING ENVELOPE DURING COMPLETION OF REPLACEMENT ITEMS OF CONSTRUCTION.
14. CONTRACTOR TO VERIFY LOAD-BEARING REQUIREMENTS OF ALL WALLS INDICATED FOR REMOVAL WITH THE STRUCTURAL ENGINEER AND/OR ARCHITECT PRIOR TO REMOVAL OF WALL.
15. REFER TO BALANCE OF DRAWINGS FOR ADDITIONAL INFORMATION.
16. ALL FACE BRICK AT WALLS INDICATED FOR REMOVAL TO BE STOPPED FOR REPAIR. CARE SHALL BE TAKEN DURING DEMOLITION TO PROTECT AND SALVAGE ALL FACE BRICK.
17. CONTRACTOR TO CAP OFF OR TERMINATE ALL ELECTRIC, WATER, AND GAS LINES REMAINING FOLLOWING REMOVAL OF EXISTING CONSTRUCTION. PROVIDE PERMANENT TERMINATION AS REQUIRED BY CODE. REMOVE ALL ABANDONED WIRING, PIPING, AND DUCTWORK.
18. ALL DEBRIS AND DEMOLISHED MATERIALS ARE TO BE REMOVED FROM THE JOB SITE ON A REGULAR BASIS. DO NOT ALLOW DEBRIS TO ACCUMULATE ON THE INTERIOR OF THE PROJECT OR ON THE EXTERIOR OF THE SITE.
19. CONTRACTOR SHALL VERIFY ACCURACY OF DEMOLITION INFORMATION PROVIDED AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. THE COST OF ALL REQUIRED DEMOLITION INDICATED OR NOT, AS DEEMED NECESSARY FOR COMPLETION OF THE WORK. NOTED ELSEWHERE ON THESE DRAWINGS SHALL BE INCLUDED IN THE CONSTRUCTION BID FOR THIS PROJECT.



GROUND LEVEL DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

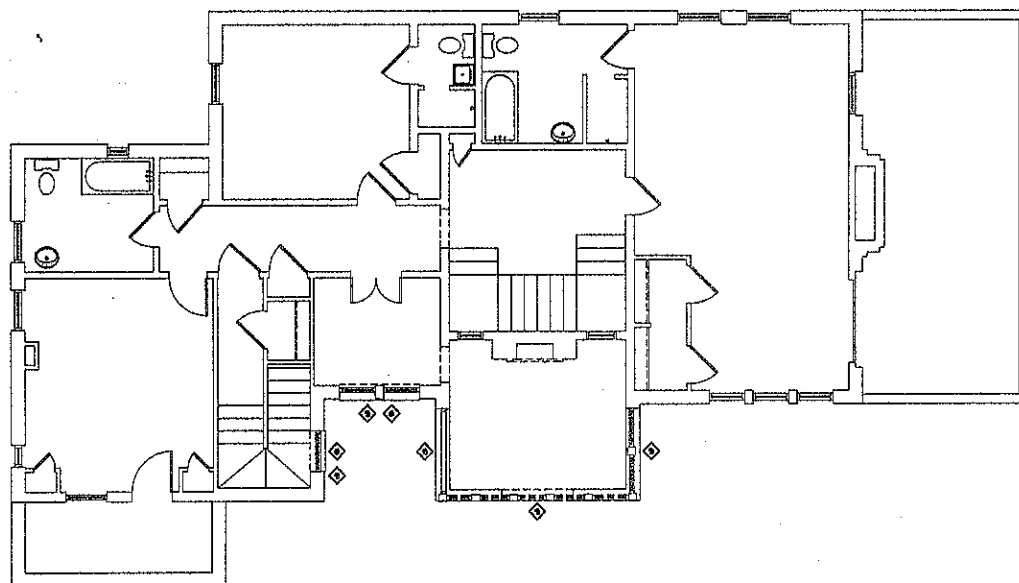
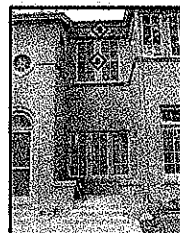
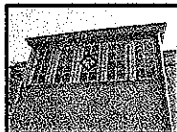


**KELLY RESIDENCE
ADDITION**
242 WEST LYNNWOOD AVE.
SAN ANTONIO, TX 78212

Robert C. Murray AIA
Architect
1405 E. Broadway Ave.
San Antonio, TX 78204
Tel: 214.591.1111

Drawn By:
Checked By:
Date Issued: 09/19/05
Revisions:





DEMOLITION NOTES

1. REMOVE CONCRETE STAIRS. PREP FLOOR SURFACE FOR NEW FLOORING.
2. REMOVE CRAIL. BRACE ACCESS.
3. REMOVE MASONRY WALL FOR NEW CAGED OPENING. REFER TO STRUCTURAL FOR LATEL. INFO.
4. REMOVE WINDOW, SILL, & WALL BELOW FOR NEW CAGED OPENING.
5. REMOVE WINDOW, SILL, & WALL BELOW. PREP FLOOR SURFACE AND PATCH/REPAIR TO RECEIVE NEW WOOD FRENCH DOOR UNIT.
6. REMOVE PORTION OF SIDEWALK FOR NEW ADDITION.
7. REMOVE WINDOW, SILL, & WALL BELOW FOR NEW CAGED OPENING.
8. EXISTING WINDOW TO REMAIN. PROVIDE PLASTER WALL SYSTEM SHALL TO ADJAC EXISTING ADJACENT PLASTER WALL.
9. REMOVE SCOTT, TERN PIECE, AND OVERLANDS (SEE REQUIRED BY CONTRACTS OF NEW ADDITION.

GENERAL NOTES

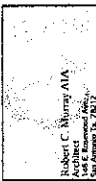
1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO DEMOLITION.
2. LIMITS OF EXCAVATION FOR NEW ADDITION TO BE RESTRICTED TO THE LEAST AMOUNT OF AREA, AS NOT TO DISTURB THE HOUSE AND OTHER SITE FEATURES NOT INCLUDED IN THIS PROJECTS SCOPE OF WORK.
3. SALVAGE ALL MATERIAL AS REQUESTED BY OWNER.
4. OWNER TO PROVIDE CONTRACTOR W/ STRUCTURAL DRAWINGS OF NEW FOUNDATION, DETAILS, BEAM SIZES, AND CONNECTION DETAILS OF NEW TO EXISTING. THE STRUCTURAL INFORMATION IN THESE DRAWINGS ARE FOR REFERENCE PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.
5. PROVIDE PROPER DERRIS AND DUST BARRIERS DURING CONSTRUCTION TO IMPRIZE AREAS NOT INCLUDED IN EXPANSION FROM CONSTRUCTION DERRIS.
6. NOTIFY OWNER IN ADVANCE OF ANY DISCONNECTION OF UTILITY SERVICES PRIOR TO PROCEEDING.
7. NOTIFY OWNER PRIOR TO REMOVAL OF ANY TREES, LIMBS, OR LANDSCAPING FEATURES.
8. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE AWAY FROM HOUSE DURING THE DURATION OF CONSTRUCTION.
9. CONTRACTOR TO SECURE MATERIALS REQUIRED TO BE STORED ON THE JOB SITE.
10. CONTRACTOR TO MAINTAIN THE SECURITY OF THE EXISTING RESIDENCE DURING THE ENTIRETY OF THIS CONSTRUCTION PROJECT.

GENERAL NOTES (CONT.)

2. ALL DEMOLITION WORK TO BE DONE IN COMPLIANCE WITH LOCAL CODES AND ORDINANCES, FEDERAL SAFETY AND ENVIRONMENTAL REGULATIONS AND INDUSTRY STANDARDS.
3. DEMOLITION DRAWINGS INDICATE GENERAL EXTENT OF DEMOLITION OF EXISTING ITEMS OF CONSTRUCTION AS REQUIRED FOR NEW CONSTRUCTION, INSTALLATION OF NEW PROGRAMS, ITEMS OF EQUIPMENT, ETC. AS INDICATED ELSEWHERE ON THESE DRAWINGS AND ARE NOT INTENDED TO INDICATE EVERY ITEM OF DEMOLITION REQUIRED TO COMPLETE WORK.
4. CONTRACTOR SHALL SCHEDULE DEMOLITION OF EXISTING RELATED ITEMS (I.E. ROOF, WALLS, DOORS, AND WINDOWS) TO COORDINATE WITH INSTALLATION OF NEW CONSTRUCTION. PROVIDE POSITIVE WATER TIGHT CONNECTION OF OPENINGS IN BUILDING DEVELOPS DURING COMPLETION OF REPLACEMENT ITEMS OF CONSTRUCTION.
5. CONTRACTOR TO VERIFY LOAD-BEARING REQUIREMENTS OF ALL WALLS INDICATED FOR REMOVAL WITH THE STRUCTURAL ENGINEER AND/OR ARCHITECT PRIOR TO REMOVAL OF WALL.
6. REFER TO BALANCE OF DRAWINGS FOR ADDITIONAL INFORMATION.
7. ALL FACE BRICK AT WALLS INDICATED FOR REMOVAL TO BE STOCKPILED FOR REUSE. CURS SHALL BE TAKEN DURING DEMOLITION TO PROTECT AND SALVAGE ALL FACE BRICK.
8. CONTRACTOR TO CAP OR OR TERMINATE ALL ELECTRIC, WATER, AND GAS LINES REMAINS FOLLOWING REMOVAL OF EXISTING CONSTRUCTION. PROVIDE PERMANENT TERMINATION AS REQUIRED BY CODE. REMOVE ALL ABANDONED WIRING, PIPING, AND DUCTWORK.
9. ALL DEBRIS AND DEMOLISHED MATERIALS ARE TO BE REMOVED FROM THE JOB SITE ON A REGULAR BASIS. DO NOT ALLOW DEBRIS TO ACCUMULATE ON THE INTERIOR OF THE PROJECT OR ON THE EXTERIOR OF THE SITE.
10. CONTRACTOR SHALL VERIFY ACCURACY OF DEMOLITION INFORMATION PROVIDED AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. THE COST OF ALL REQUIRED DEMOLITION, INDICATED OR NOT, AS DEEMED NECESSARY FOR COMPLETION OF THE WORK NOTED ELSEWHERE ON THESE DRAWINGS SHALL BE INCLUDED IN THE CONSTRUCTION BID FOR THIS PROJECT.



**KELLY RESIDENCE
ADDITION**
242 WEST LYNWOOD AVE.
SAN ANTONIO, TX. 78212



Drawn By: _____
Checked By: _____
Date Issued: 03/19/06
Revisions: _____



SECOND LEVEL DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 3

HDRC CASE NO: 2006-269

IDENTIFIER:

ADDRESS: 203 Bushnell

LEGAL DESCRIPTION: NCB 6120 LOT 7 & 8, NCB 7054 LOT 14, 15 & W 6.13 FT OF 16 & NCB A-54 10 FT STRIP OF 24

ZONING: "R-5 H" Residential Historic District

PUBLIC PROPERTY:

COUNCIL DISTRICT: 1

DISTRICT: Monte Vista Historic District

LANDMARK:

APPLICANT: Don McDonald, Architect

OWNER: Mr. & Mrs. John E. Newman Jr.

TYPE OF WORK: Exterior Renovations

REQUEST:

The applicant is requesting a Certificate of Appropriateness for Final Approval to:

1. Demolish an existing storage shed/garage
2. Construct a new one story storage shed with material to match existing out building

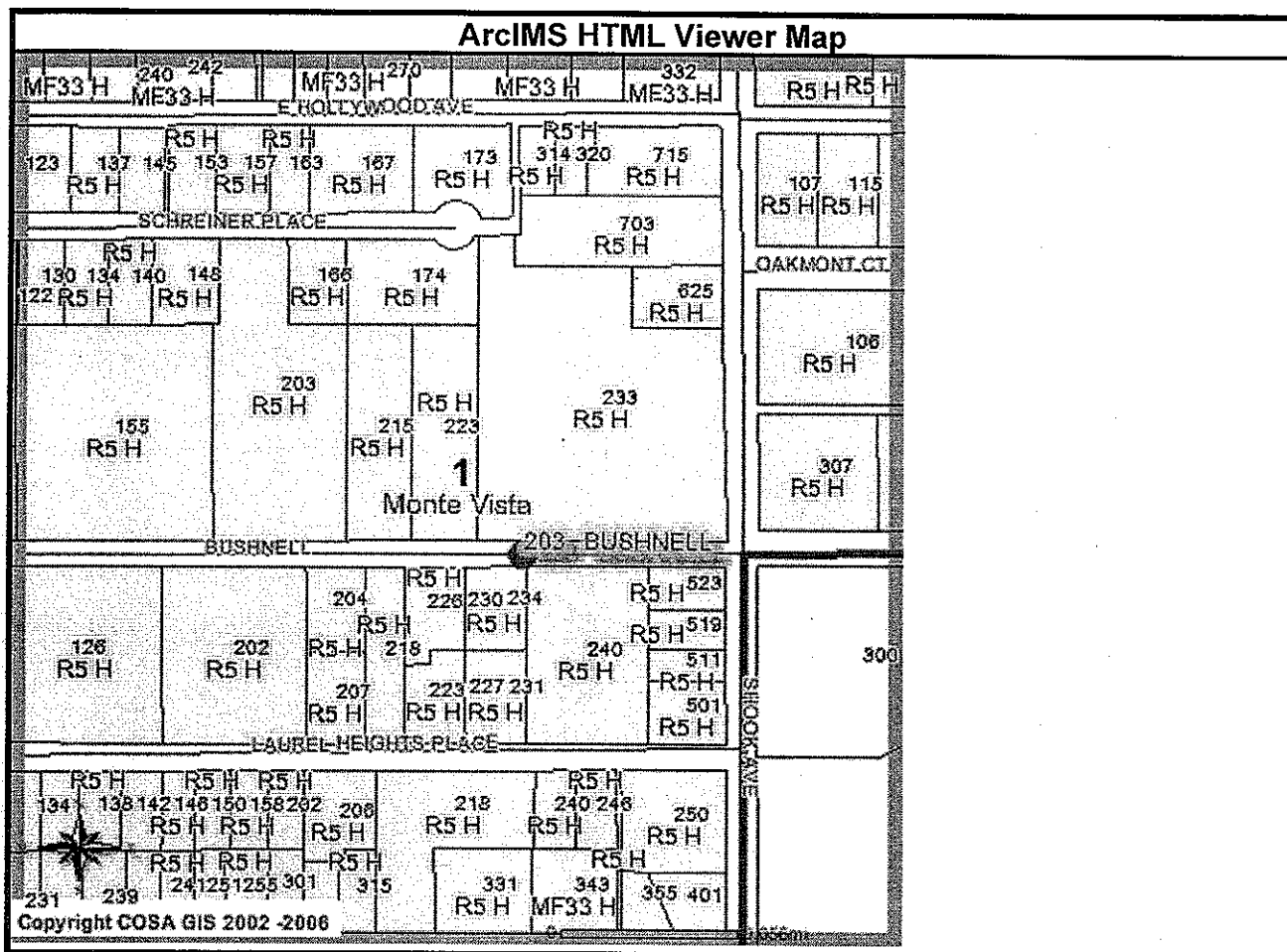
The accompanying exhibits provide additional information.

RECOMMENDATION:

The staff recommends approval of this request as submitted. The proposed changes are architecturally and esthetically appropriate for their setting and will have no adverse effects on the property or the district.

CASE COMMENTS:

This project was reviewed by the HDRC on September 6, 2006 and the applicant was given conceptual approval to demolish the garage with the stipulation that the applicant return with final plans for the replacement storage shed.



Don B. McDonald, Architect

September 19, 2006

To: San Antonio Historic and Design Review Commission

Re: Exterior Reservations to 203 Bushnell

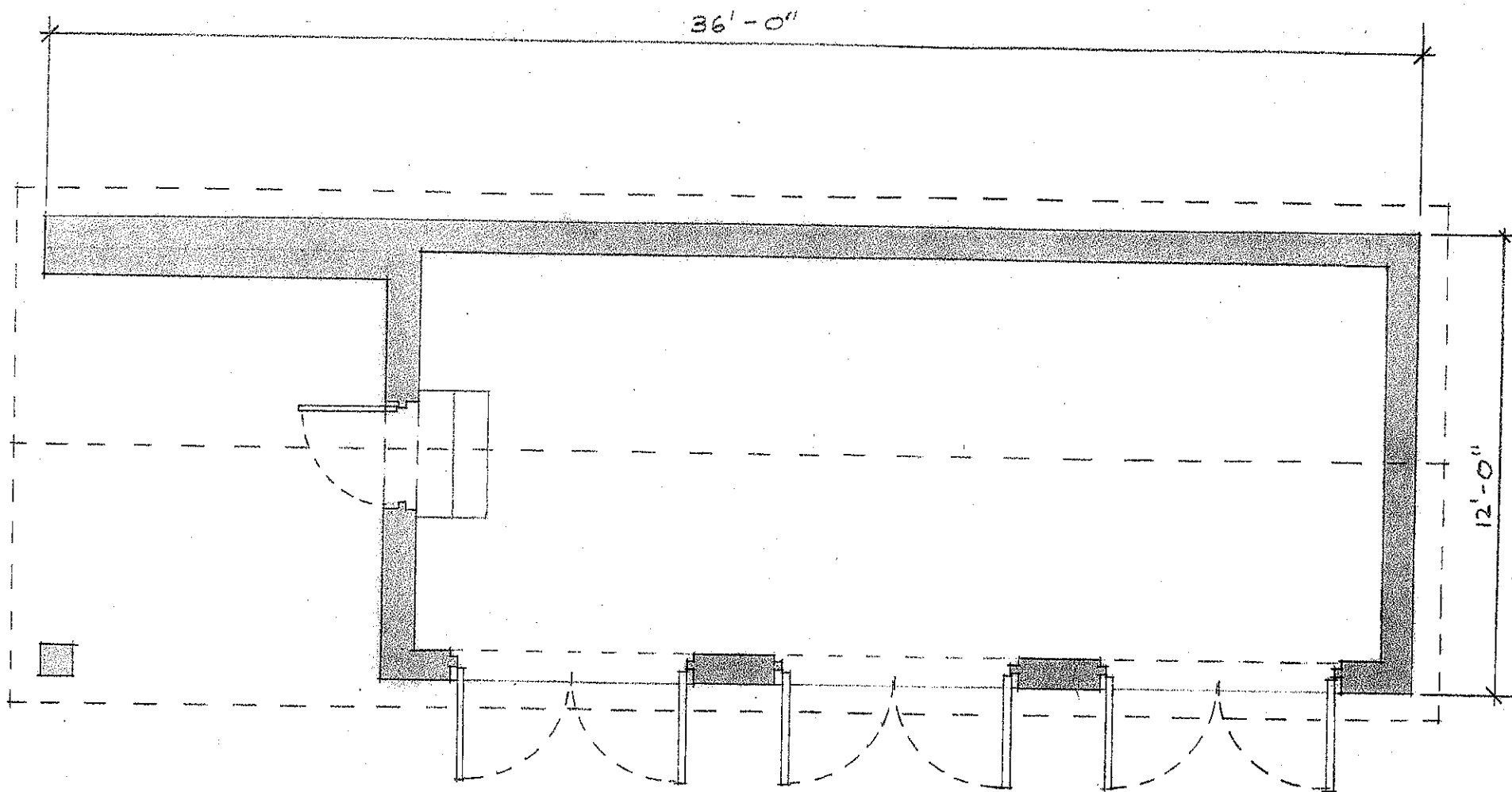
Case No.: 2006-269

Please find the attached plan and elevations for the proposed new storage building to replace existing garage at rear of property per the request of the HDRC at the meeting of September 6, 2006.

Sincerely,

A handwritten signature in cursive script, appearing to read "Teal Hanzel".

Teal Hanzel

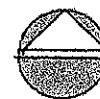


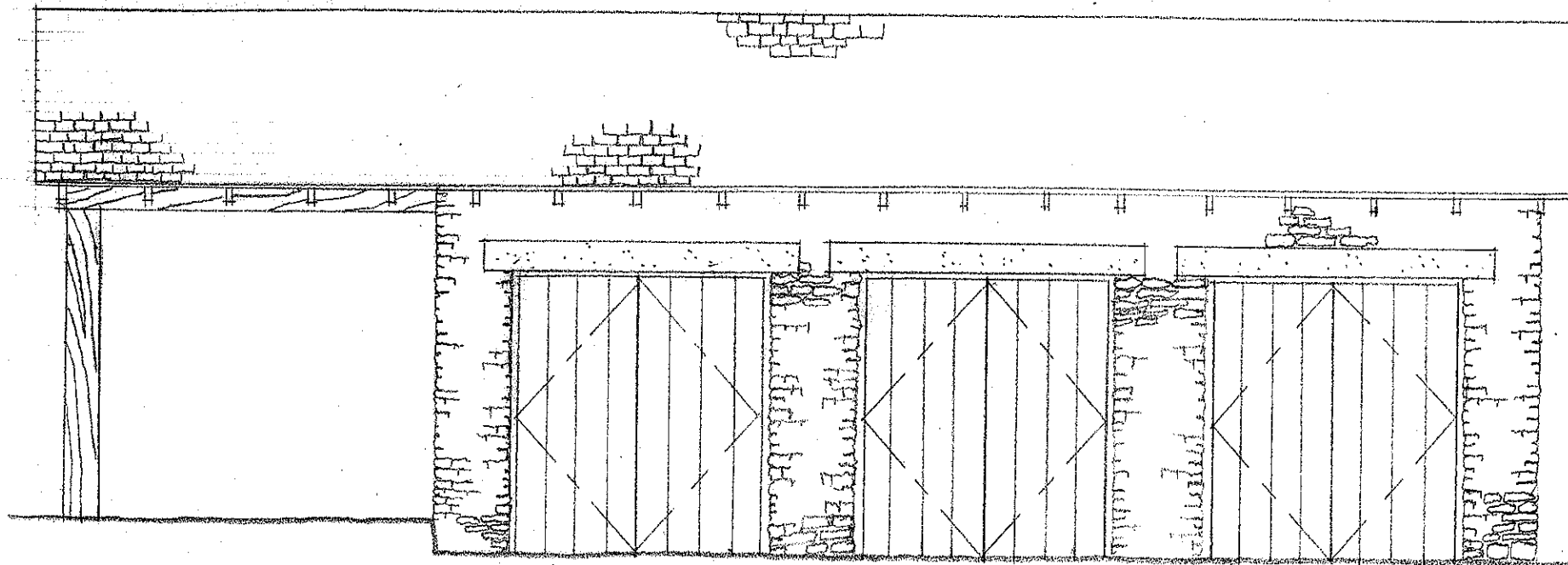
PLAN

$\frac{1}{4}'' = 1'-0''$

NEWMAN STORAGE SHED

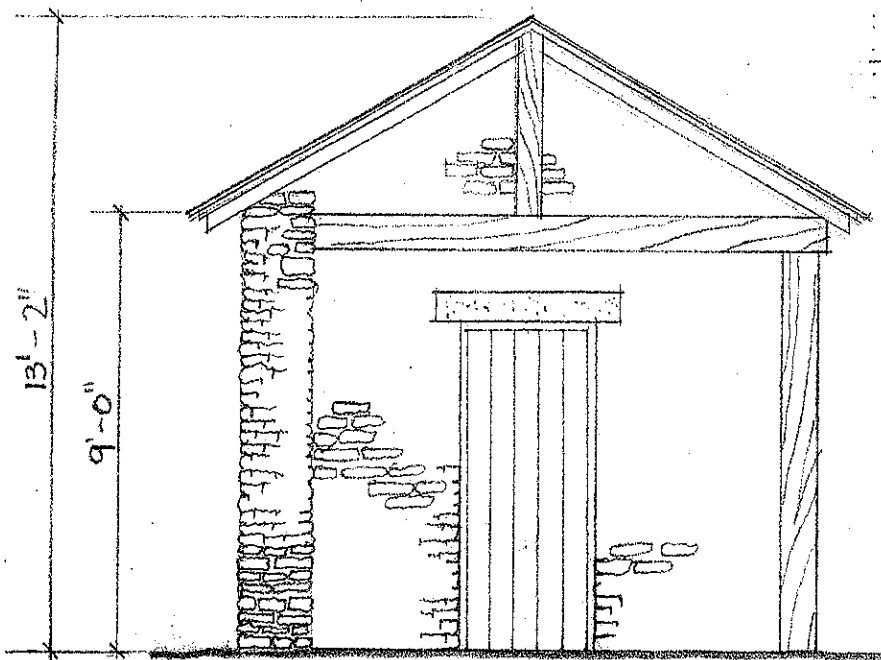
9-18-06





SOUTH

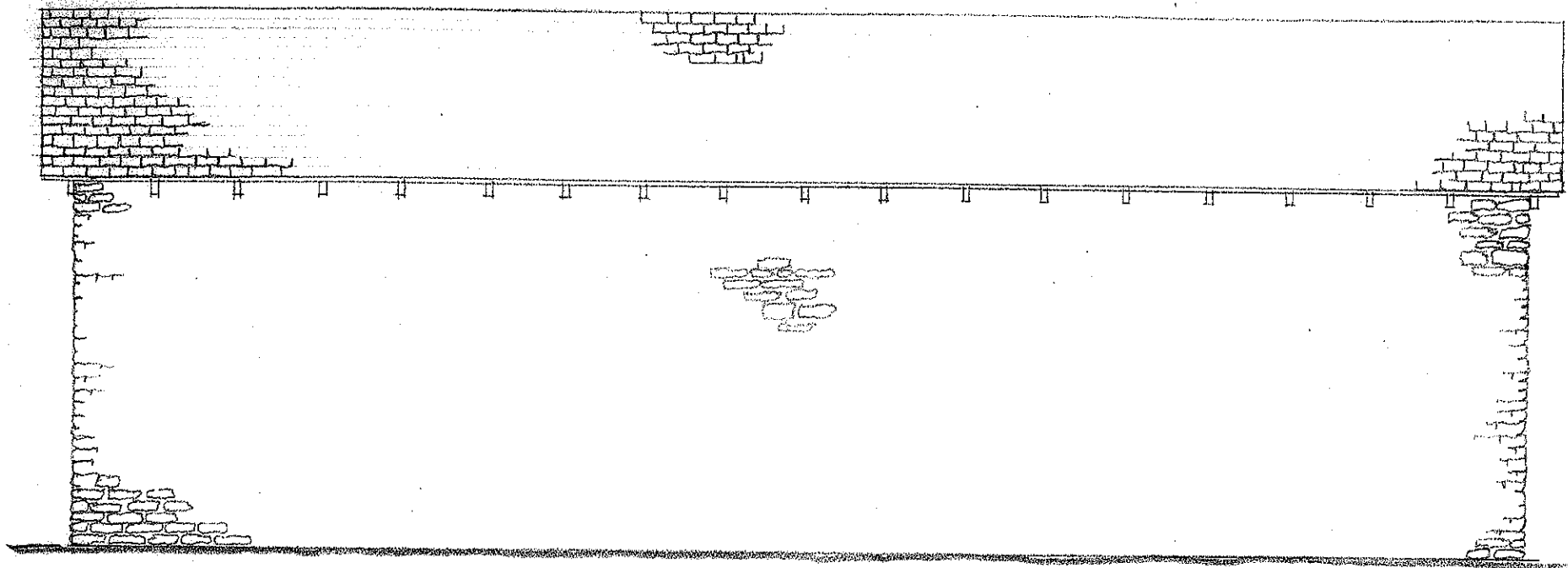
$\frac{1}{4}'' = 1'-0''$



WEST

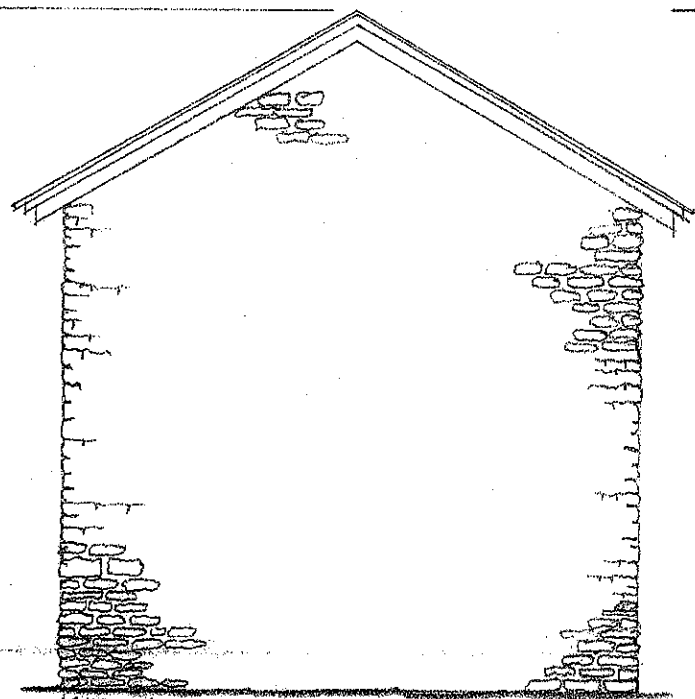
$\frac{1}{4}'' = 1'-0''$

203 BUSHNELL
NEW STORAGE SHED
NEWMAN RESIDENCE
CASE # 2006-269
9-20-06



NORTH

$\frac{1}{4}'' = 1'-0''$



EAST

$\frac{1}{4}'' = 1'-0''$

203 BUSHNELL
NEW STORAGE SHED
NEWMAN RESIDENCE
CASE # 2006-269
9-20-06

HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 4

HDRC CASE NO: 2006-309

IDENTIFIER:

ADDRESS: 316 West Mulberry Avenue

LEGAL DESCRIPTION: NCB 3001, Block 3, Lots 6, 7, and the west 24 feet of Lot 8

ZONING: "R-5 H" Single-Family Residential, Historic District

PUBLIC PROPERTY:

COUNCIL DISTRICT: 1

DISTRICT: Monte Vista Historic District

LANDMARK:

APPLICANT: Leo & Jennifer Naeger

OWNER: Same

TYPE OF WORK: Fencing, Swimming pool

REQUEST:

The applicant is requesting a Certificate of Appropriateness for Final Approval to:

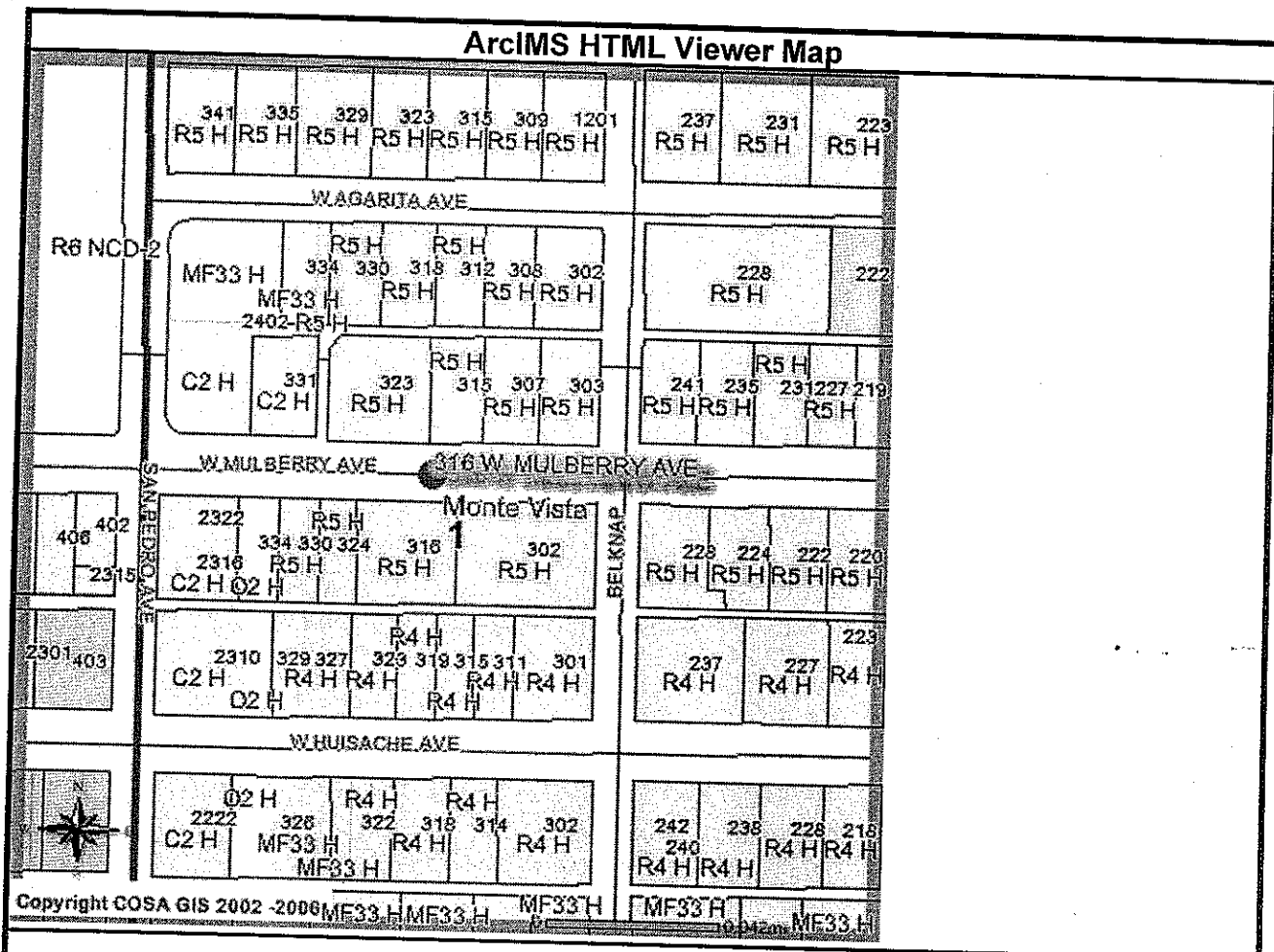
- 1) Install a wrought iron fence with stone columns and gate at the driveway
- 2) Construct a swimming pool, spa and water feature in the back yard.

The accompanying exhibits provide additional information.

RECOMMENDATION:

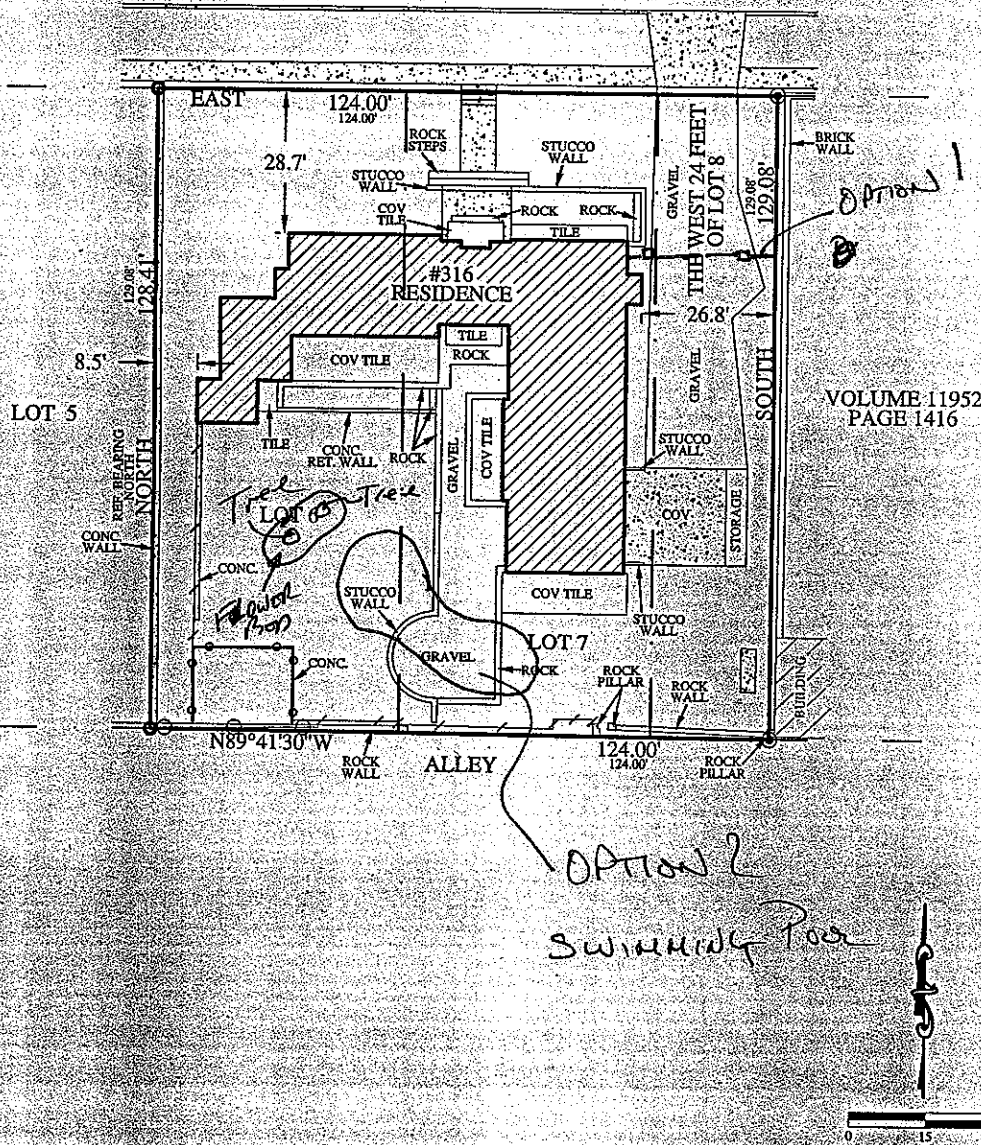
The staff recommends approval of this request as submitted. The proposed fencing and swimming pool is architecturally and esthetically appropriate for its setting and will have no adverse effects on the property or the district.

CASE COMMENTS:



RECORD INFORMATION
 N89°27'41"E
 65.00'
 AS MEASURED IN FIELD
 S33°29'20"W
 161.24'

W MULBERRY AVE
 80' R.O.W.



VOLUME 11952
 PAGE 1416

LOT(S) LOTS 6 AND 7 AND THE WEST 24 FEET OF LOT 8 BLOCK 3 N.C.B. 3001
 CITY OF SAN ANTONIO
 VOLUME 11952 PAGE(S) 1416 OF THE RECORDS
 OF BEXAR COUNTY, TEXAS G.F. OR FILE NO. 13419
 WITNESS MY HAND AND SEAL THIS 22 DAY OF JUNE 20 06
 ADDRESS 316 W MULBERRY AVE ACCORDING TO U.S. POSTAL SER.
 ROSIN-JOHNSON, INC. JOB NO. 1345-003-000 DRAWN BY: TMM SURVEYED BY: KC
 CERTIFIED TO: LEO NAEGER AND JENNIFER NAEGER

WOOD FENCE ○ UTILITY POLE ○ SMOOTH WIRE FENCE
 X BARBED WIRE □ IRON (WROUGHT IRON) ○ CHAIN LINK FENCE
 LIGHTPOST [TR] TRANSFORMER [F] FIRE HYDRANT
 [C] CONCRETE ○ 1/2" IRON ROD FOUND (UNLESS OTHERWISE NOTED)
 COV COVERED ○ 1/2" IRON ROD SET WITH YELLOW CAP MARKED "ROSIN JOHNSON"

RJ Rosin-Johnson, Inc.
 Civil Engineers - Land Surveyors
 3690 HIGHPOINT 210-490-6001
 SAN ANTONIO, TEXAS 78217 FAX: 210-496-3975

I, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS DO HEREBY CERTIFY THAT THE ABOVE DRAWING IS TRUE AND CORRECT ACCORDING TO MEASUREMENTS MADE ON THE GROUND. BOUNDARY LINES ARE, IN MY OPINION, SHOWN AT THE BEST LOCATION. BEFORE BUILDING OR MOVING IMPROVEMENTS, AGREE ON LOCATION WITH NEIGHBOR. IT IS UNDERSTOOD THAT A FORMAL CERTIFICATION IS BEING MADE BY A COMPANY SPECIALIZING IN THE PROCEDURE OF PROVIDING FLOOD CERTIFICATIONS AND THIS SURVEY MAKES NO REFERENCE TO FLOOD INFORMATION, SETBACKS AND EASEMENTS TO WHICH WE HAVE BEEN INFORMED ARE SHOWN ON DRAWING OR BY REFERENCE. THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF THE PARTIES LISTED HEREON. LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED.

[Signature]
 JOEL CHRISTIAN JOHNSON, R.P.L.S.



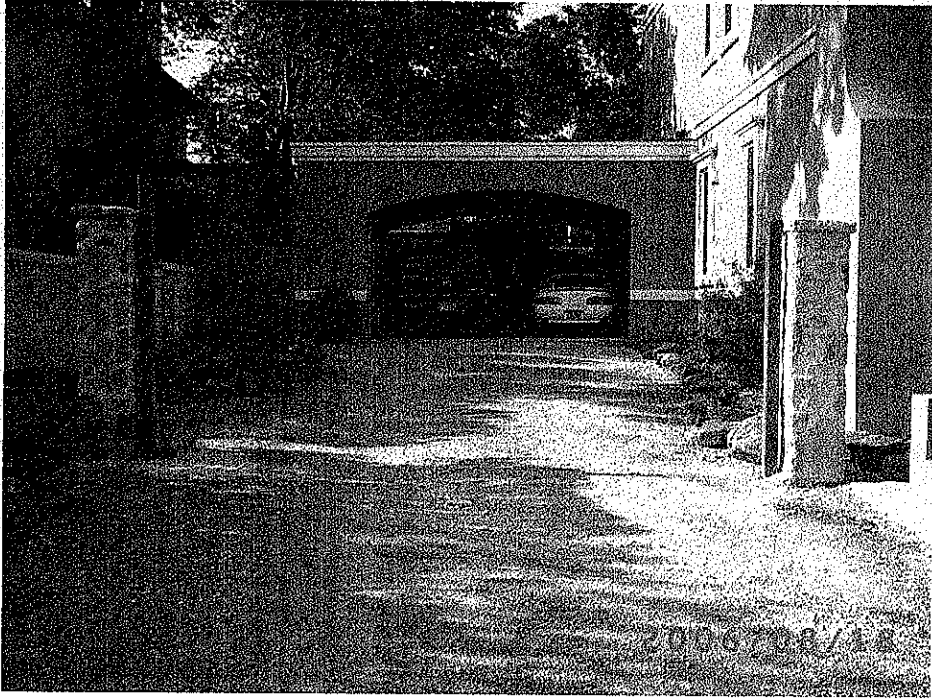
©2006

OPTION 1

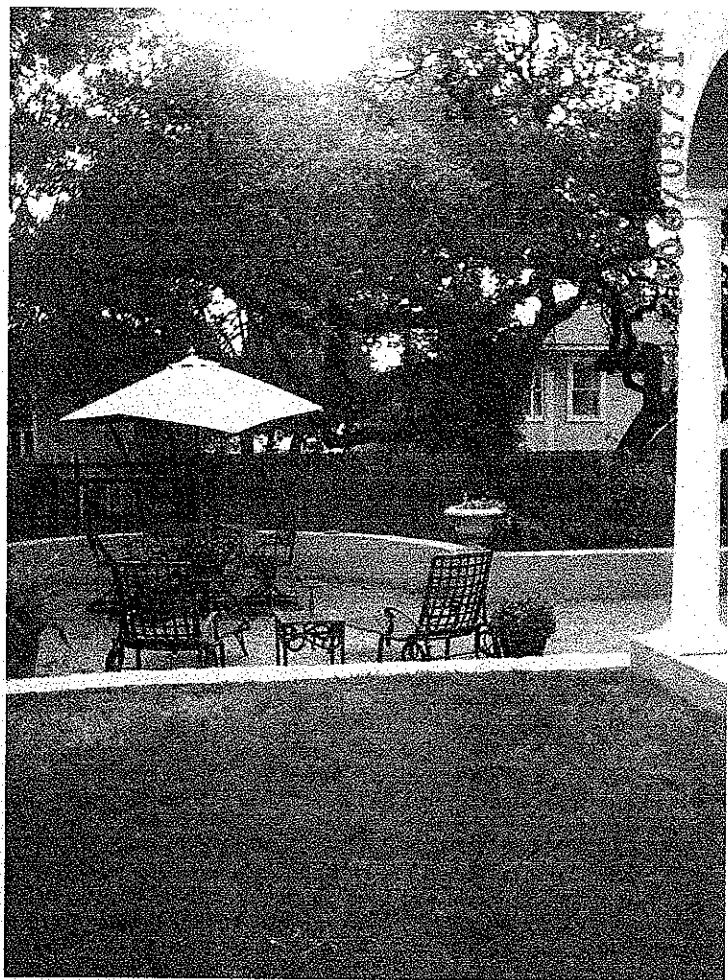
Rod Iron Gate & Fence w/ Double

White Rock Columns.

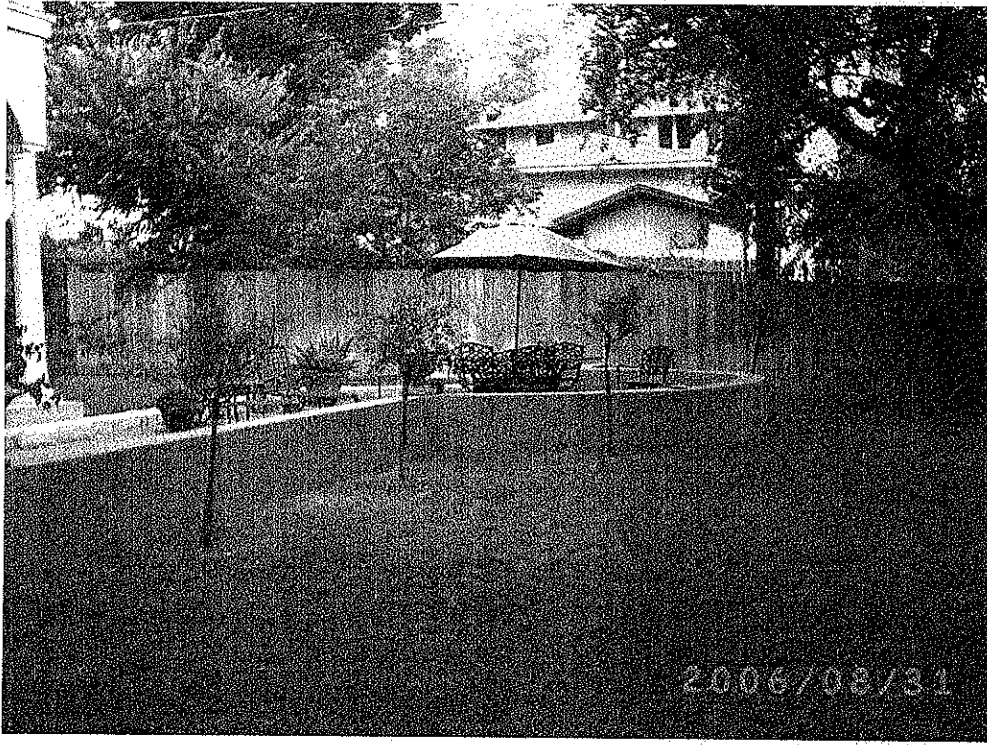
- Columns to match Rock Porch & Steps
- Rod Iron to match existing ~~rod~~ patio Rod Structure on Upper Deck
- Total Span of Fence & Gate is 26.8 FT
- ~~rod~~ Span of Gate will be 18'
- Height of Fence is 6'
- Height of Arched Gate is 8'
- Gate is Double & open towards the inside.



#1 Fence



#2 Swimming Pool



#2 Swimming Pool

Pool Specifications

- 33x22
476
47.0
- 20
- 19x30
- 32'X24' Custom Gunite Freeform Pool per Plan
 - 484 Sq. Feet Area including Spa $\Rightarrow 439$
 - 94 Linear Feet Perimeter including Spa $\Rightarrow 85$
 - Depth 3' X 6'
 - #4 Steel Bar Throughout @ 9" on Center-Double Cage
 - #4 Steel Bar (1/2") Bond Beam
 - All Cross Sections to be Steel Tied
 - 7-Sack Dry Gunite Mix
 - Floors to be a Minimum 9" Thick
 - Walls to be a Minimum 6" Thick at the Top and 12" Deep at Back
 - Tapered at 45 Degrees to Pool Wall Section
 - Two Coats of Hand-Toweled Marbelite Plaster at least 1/4" thick (selections at office)
 - 6" x 6" Band of Frost Proof Tile around Perimeter at Waterline
 - Manual fill line and overflow Line included for Venting Excess Water
 - One (1) 6' Safety Bench
 - One (1) 8' Safety Bench
 - One (1) Set of stairs with tanning ledge flagstone capped
 - Flagstone Coping (selections at office)

Pool Equipment

- Schedule 40 PVC Plumbing, 2" Diameter (Rigid Only) Plumbed around the pool
- Four (4) Adjustable Returns
- Two (2) Surface Skimmers
- 12' Raised Beam faced and capped with flagstone
- One (1) Concrete Equipment Pad
- One (1) Pentair 48 sq. ft. D.E. Filter
- One (1) 2 HP Pentair Whisper Flo Pump
- One (1) Ultra Pure Water Purification System
- One (1) Rainbow 320 automatic chlorinator
- One (2) 500-Watt Pool Light w/Stainless Steel Niche and Color Lens Kits
- One (1) Intermatic Pool time clock
- One (1) Letro Legend Platinum Pool Vac with Booster Pump
- Two (2) Main Drains
- One (1) Freeze Guard
- One (1) 18" Curved Nylon Brush / Leaf Skimmer / 8' to 16' Telescopic Pole
- One (1) 40' Vacuum Hose / Vacuum Head
- One (1) Test Kit with Thermometer
- One (1) 50' Backwash Hose
- Start Up Chemicals

Spa Specifications

- 6' Round Spa with Complete Bench per Plan
- Raised 12" above deck level, Flagstone Faced and Capped
- ~~Eight~~ (6) Adjustable Return Lines
- One (1) 400,000 BTU MiniMax Plus Heater/Pentair
- Two (2) Main Drains for Safety
- One (1) 2HP Silencer Air Blower with 4 button controller spa side
- One (1) 100-Watt Light with Stainless Steel Niche and Lens Kit
- Schedule 40 PVC, 2" Diameter
- Air Line and Waterline Looped for Maximum Water and Air Pressure
- Insulated Suction and Return Lines
- One (1) Single tier Spillways

Deck Specifications

- 630Sq. Feet rainbow pebble with redwood expansion joints
- New Deck to be Reinforced with Wire Mesh and Deck Dowels in Beam 27" on Center

Water feature

- 10'X3'X3' white limestone waterfall with Whisperflow pump and switch

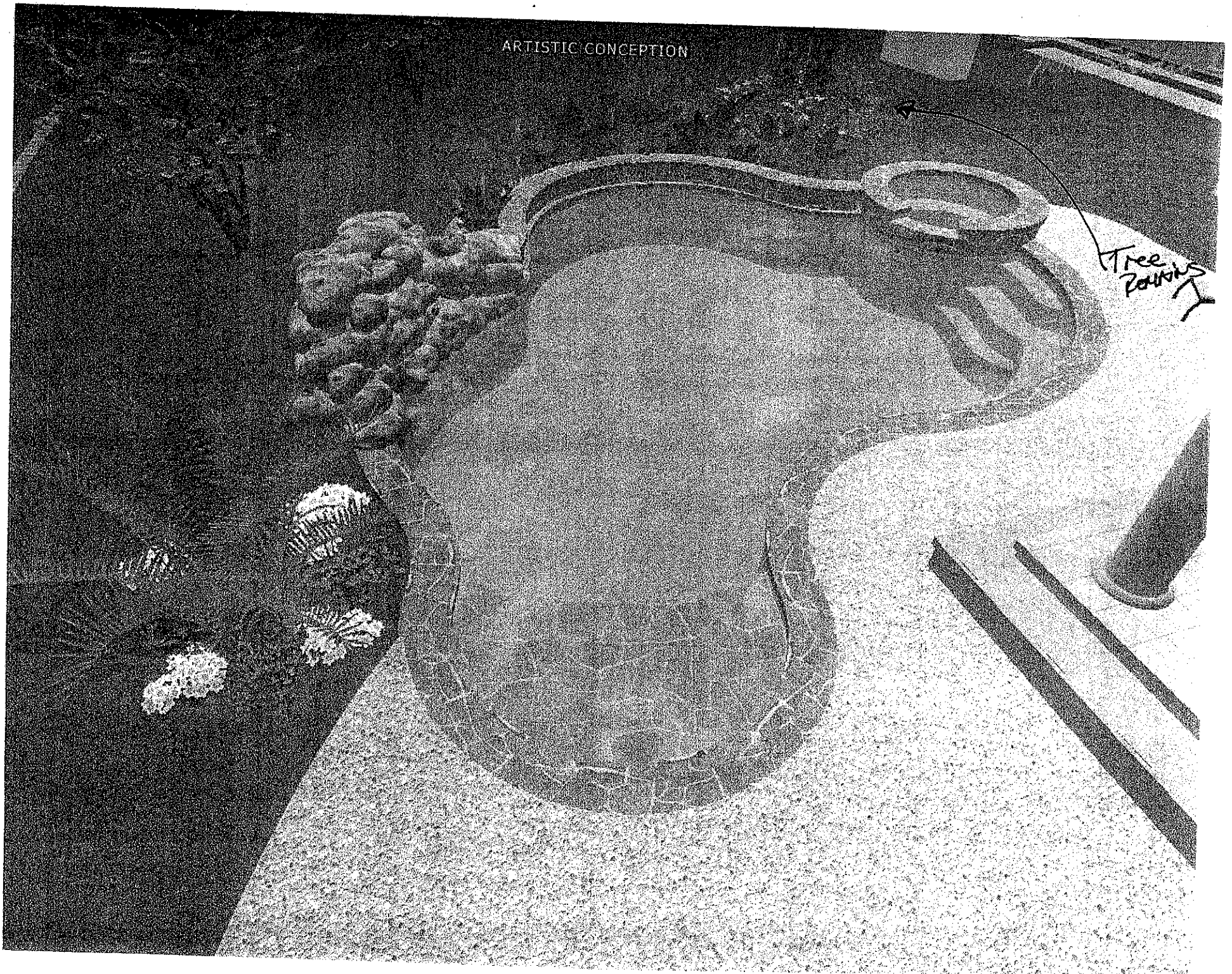
Permits/Miscellaneous

- Remove and haul 18" retaining wall
- Remove and reset limestone curb
- Remove and replace fence to allow for 10' wide access to back yard
- Return yard to a rough grade
- Pool School on Care and Maintenance
- All Necessary Line locates, Permits and Insurance (City, County and Associations)
- Place Temporary Orange Safety Fence as Needed

Customer

- Provide an accurate plat of property showing easements
- Replace topsoil and sod as needed
- Reroute utility line if needed
- Insure pet confinement

ARTISTIC CONCEPTION



Tree
Parks I

HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 5

HDRC CASE NO: 2006-144

IDENTIFIER:

ADDRESS: 1426 Napier

LEGAL DESCRIPTION: NCB 7657 BLK 1 LOT 1 NAPIER SUBD

ZONING: "MF 33 H RIO 5" Mixed Residential Historic District River

PUBLIC PROPERTY: Improvement Overlay District

COUNCIL DISTRICT: 3

DISTRICT: Mission Historic District, RIO-5

LANDMARK:

APPLICANT: Roland Gutierrez

OWNER: Same

TYPE OF WORK: New Construction - Accessory Structure

REQUEST:

The applicant is requesting a Certificate of Appropriateness for Final Approval to include

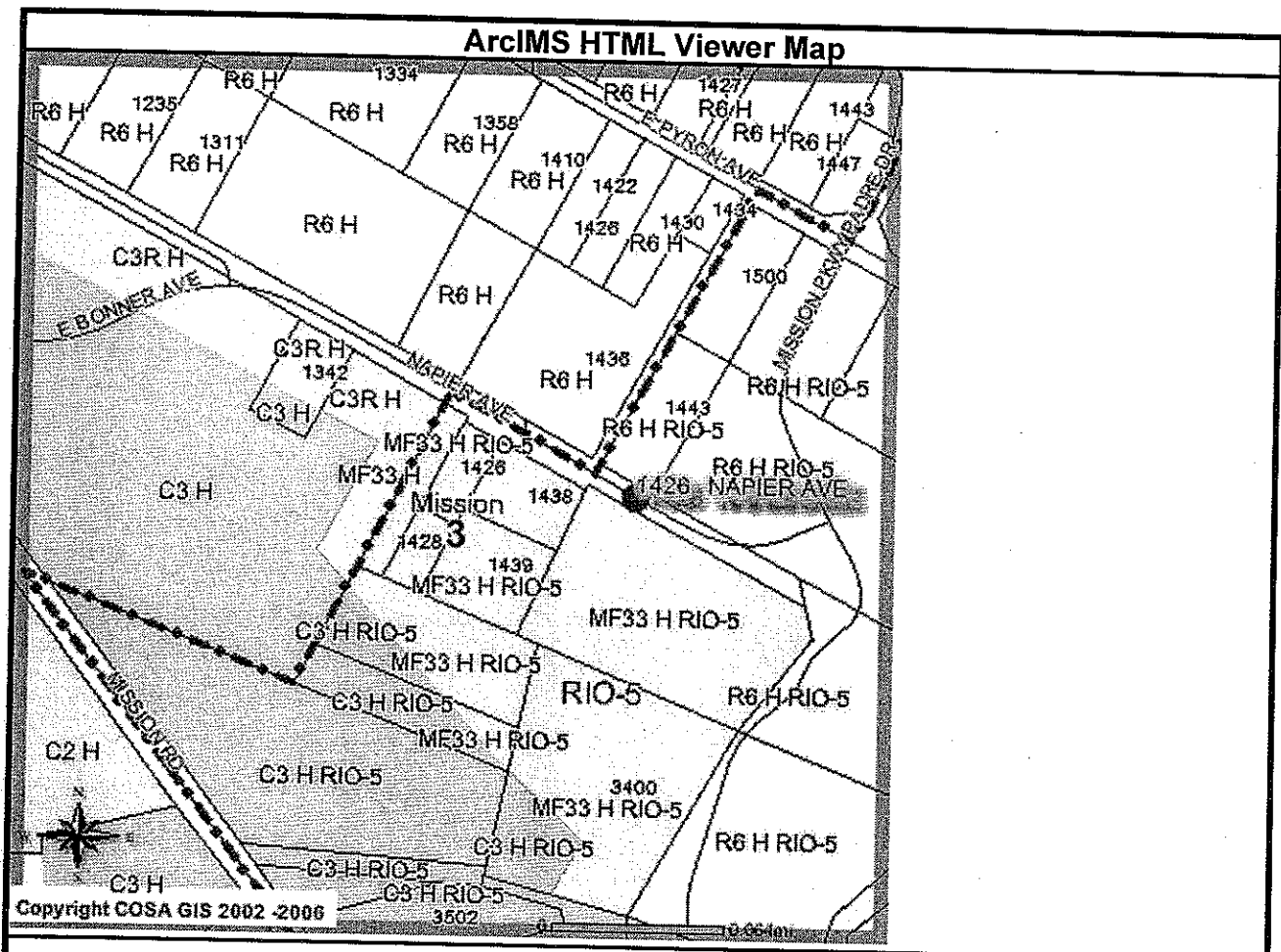
- 1) Cover a 20 by 35 ft. patio with arched stucco walls and galvalume roof to match the house.
 - 2) Construct a 20 x 35 ft. pool with water features
 - 3) Construct 4 ft. CMU and stucco wall and metal decorative fencing to surround the pool and patio
- The accompanying exhibits provide additional information.

RECOMMENDATION:

The staff recommends approval of this request as submitted. The proposed patio, swimming pool and stucco wall is separate from the main house and is architecturally and esthetically appropriate for the setting and will have no adverse effects on the property or the district.

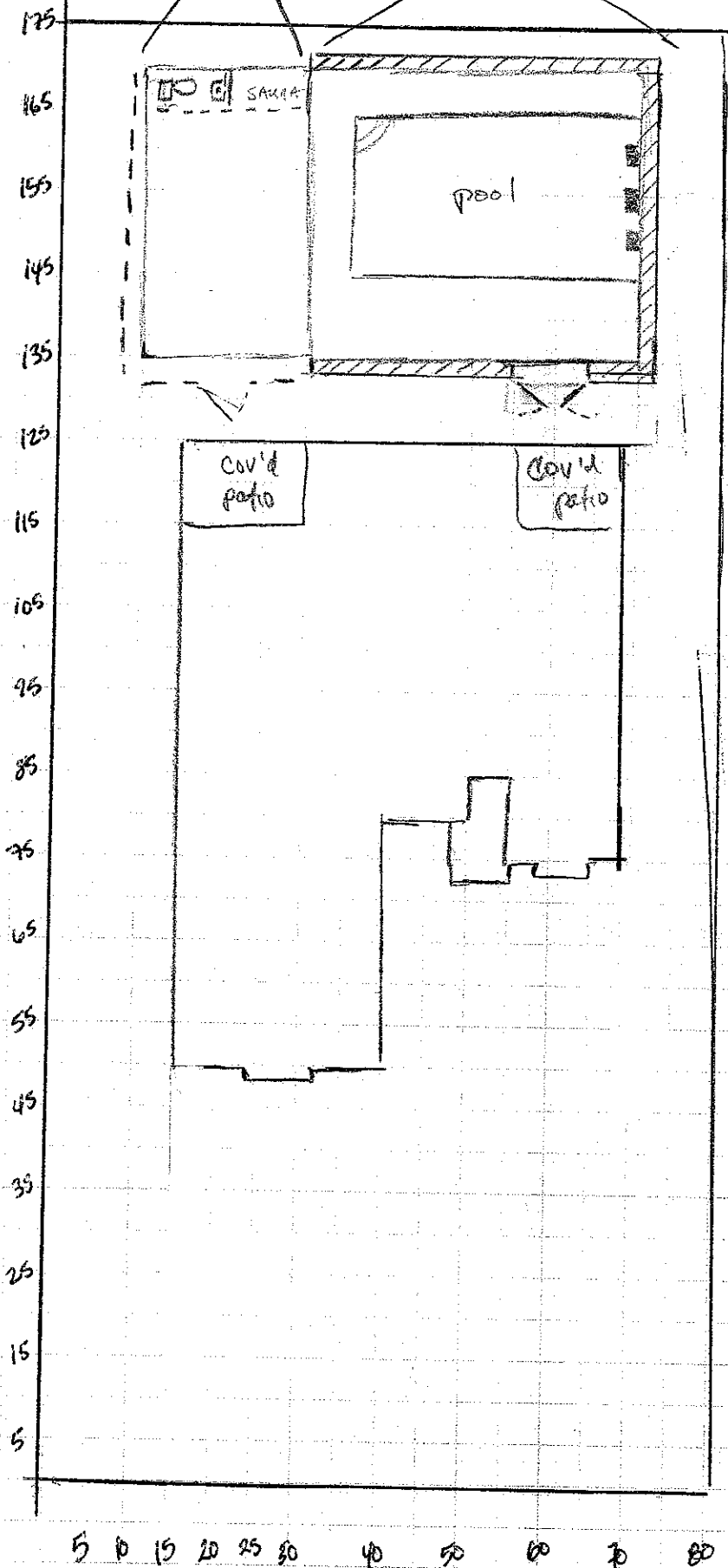
CASE COMMENTS:

On June 7, 2006 the patio was approved with a roof on half of the 20 x 35 ft. slab.



① previously approved under 2006-144 (seeking amendment to cover entire section) ~~at all~~ - Drawings Attached

② seeking approval for pool & additional patio section



8" CMU WALL
4' High - w/plaster
painted to match H

--- metal fencing

■ water feature

Color of structure

& concrete wall

- Brand VALSPAR

- Montpelier peach

- Tawny Peach trim

- Hidden Galvalon
roof (not visible)

- to match color
of roof on
home

EXHIBIT 2

- Wall structure

2x6 wall system

wrapped with

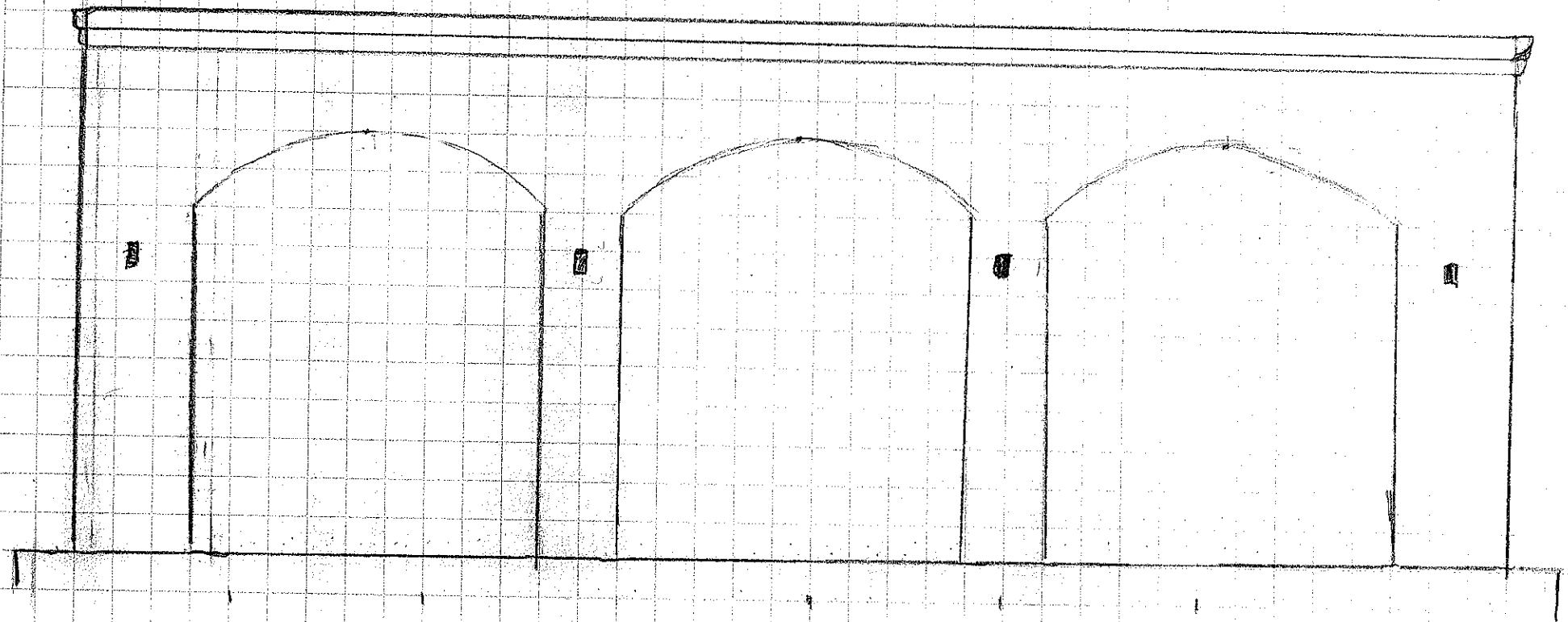
metal lath w/

stucco - painted

to match house

- PATIO = EARTH SLATE

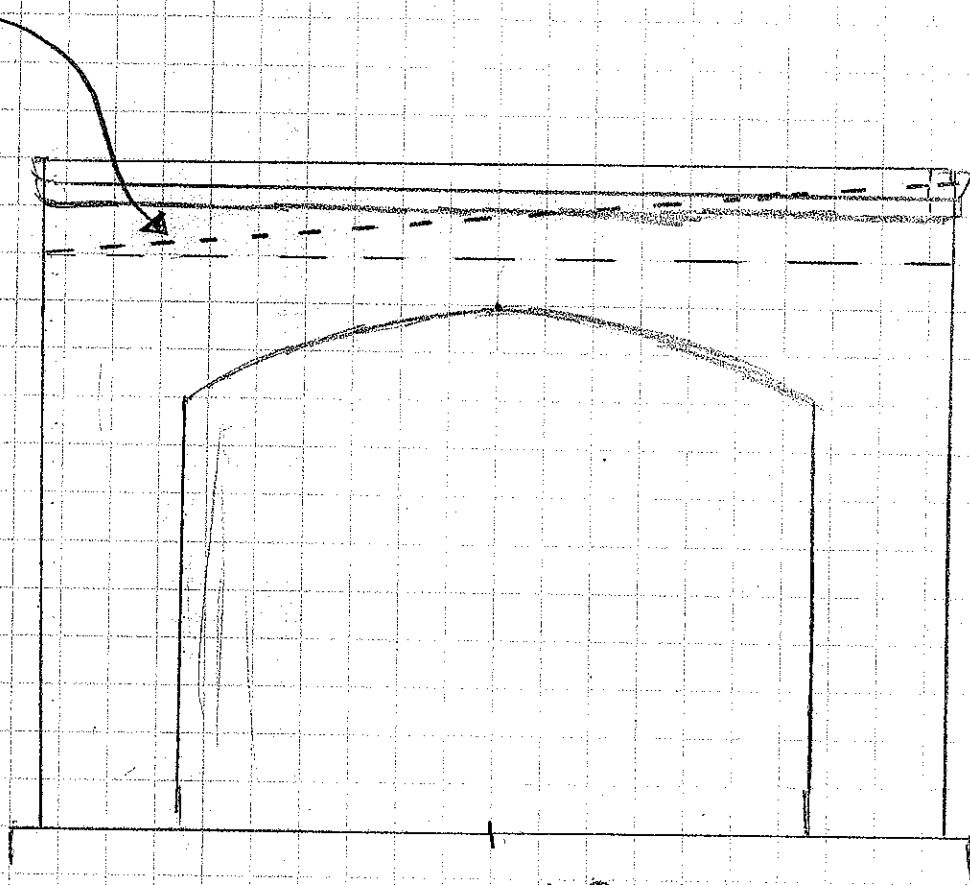
EXHIBIT 1



POOL VIEW
ELEVATION

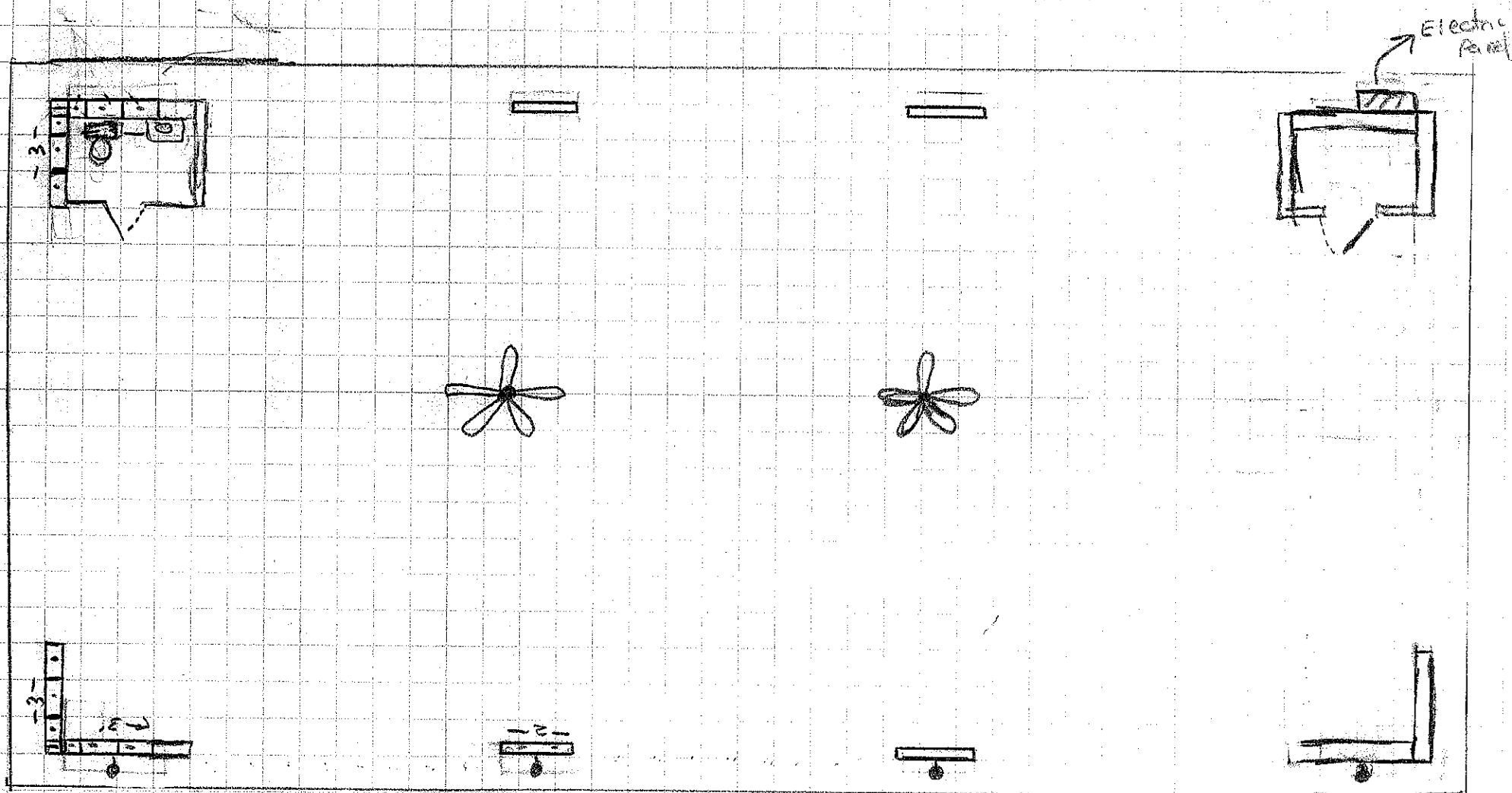
EXHIBIT 1A

Hidden
Metal
Roofing



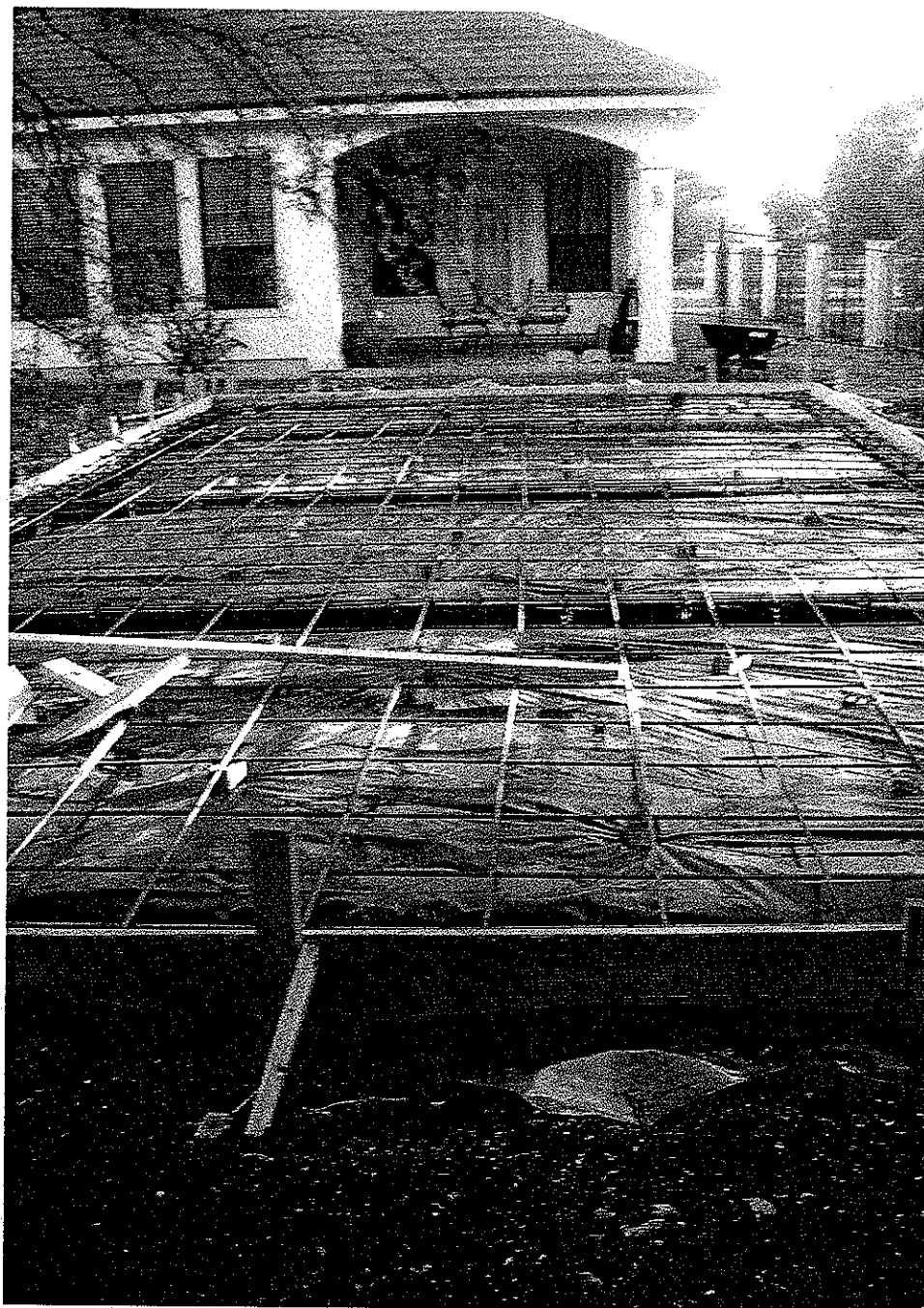
HOUSE & REAR
VIEW ELEVATION

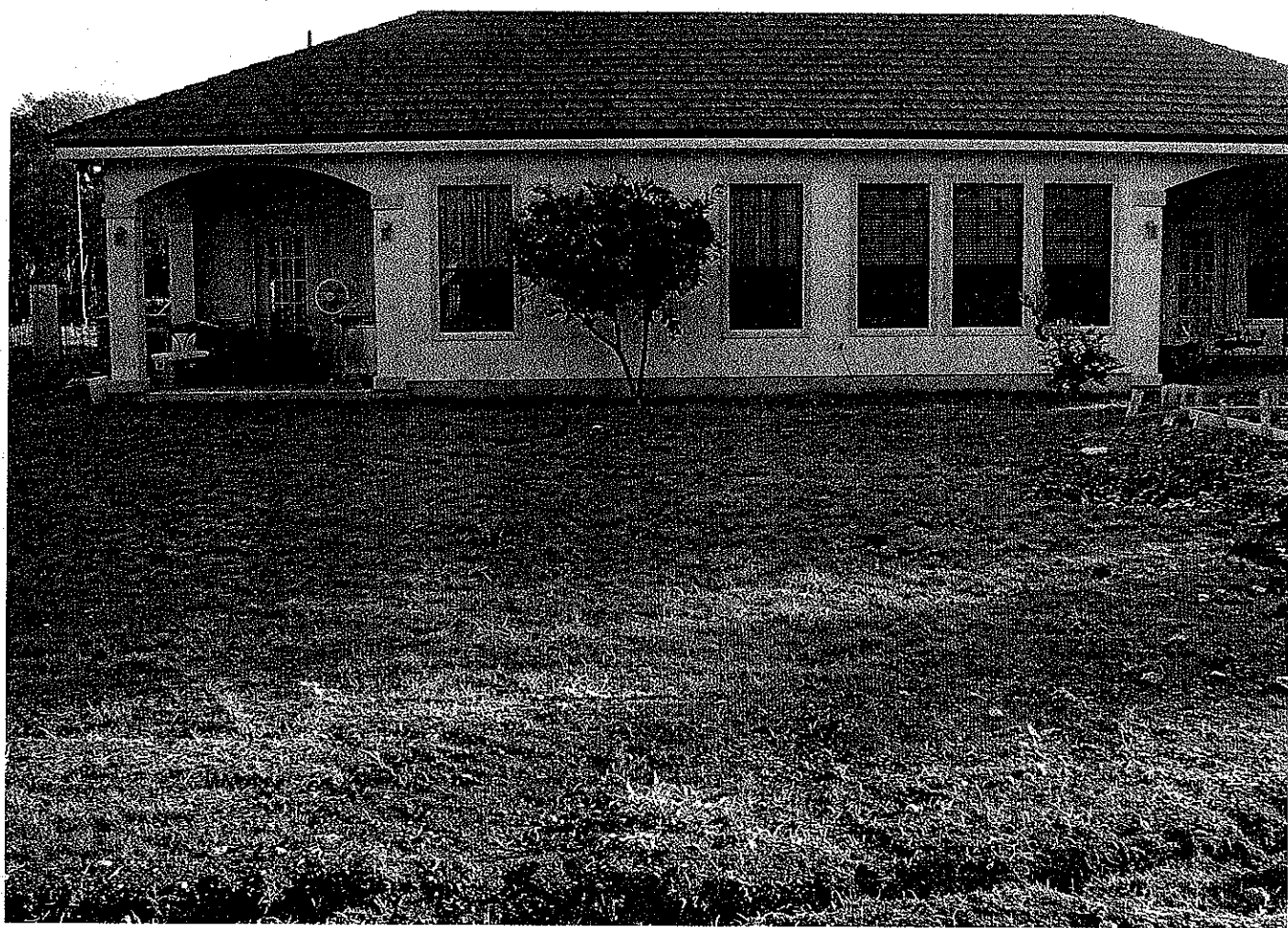
EXHIBIT 1B

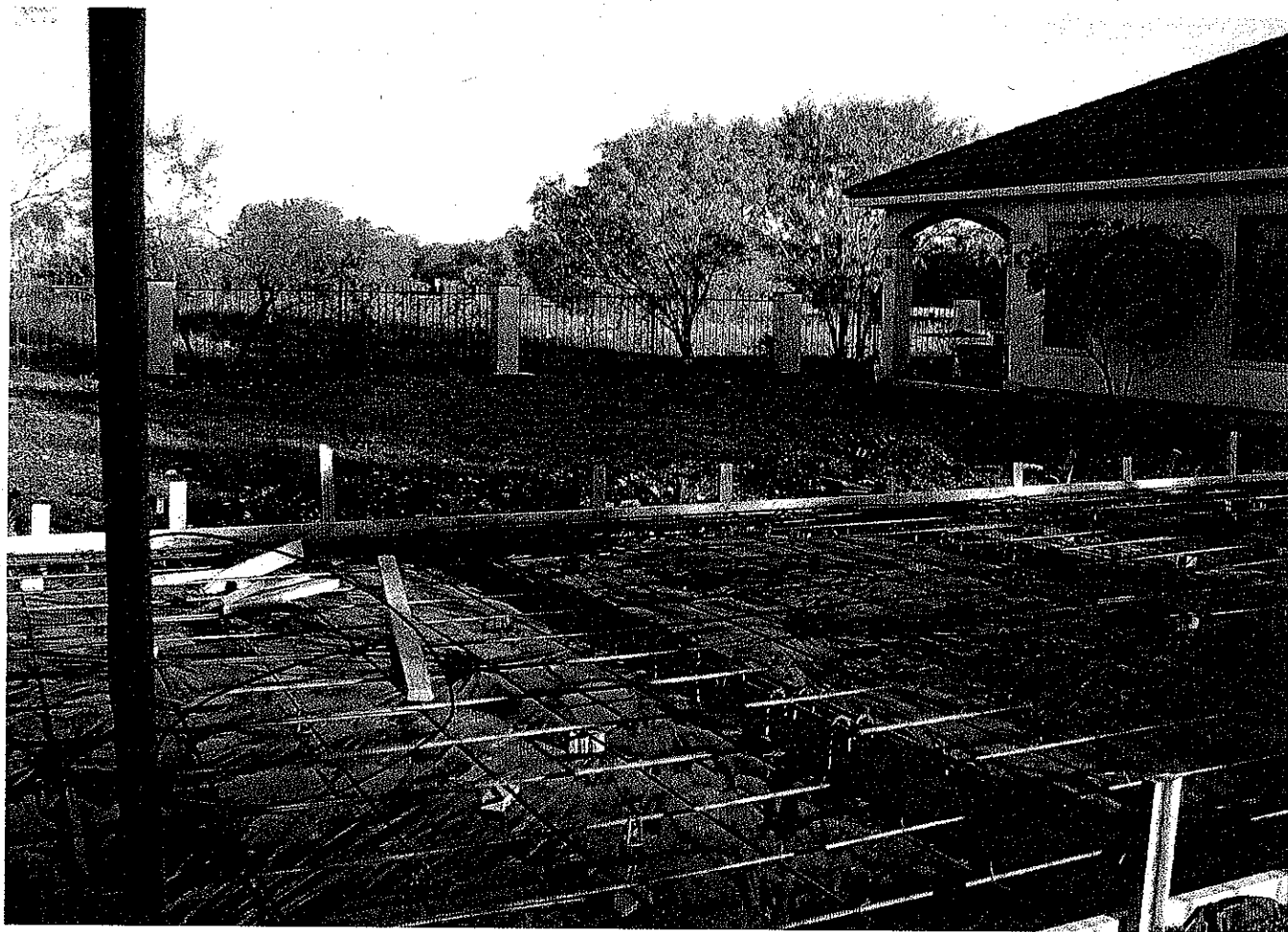


POOL









HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 6

HDRC CASE NO: 2006-225

IDENTIFIER:

ADDRESS: 218 Bushnell

LEGAL DESCRIPTION: NCB 6328 BLK 1 LOT 19, 48, E 11.2 FT OF 18 & 47

ZONING: "R-5 H" Residential Historic District

PUBLIC PROPERTY:

COUNCIL DISTRICT: 1

DISTRICT: Monte Vista Historic District

LANDMARK:

APPLICANT: Joe Stubblefield - SA Partnership

OWNER: Dave Lewis

TYPE OF WORK: Exterior Renovations

REQUEST:

The applicant is requesting a Certificate of Appropriateness for Final Approval to:

1) Construct a screened porch at an existing raised patio at the rear of the house.

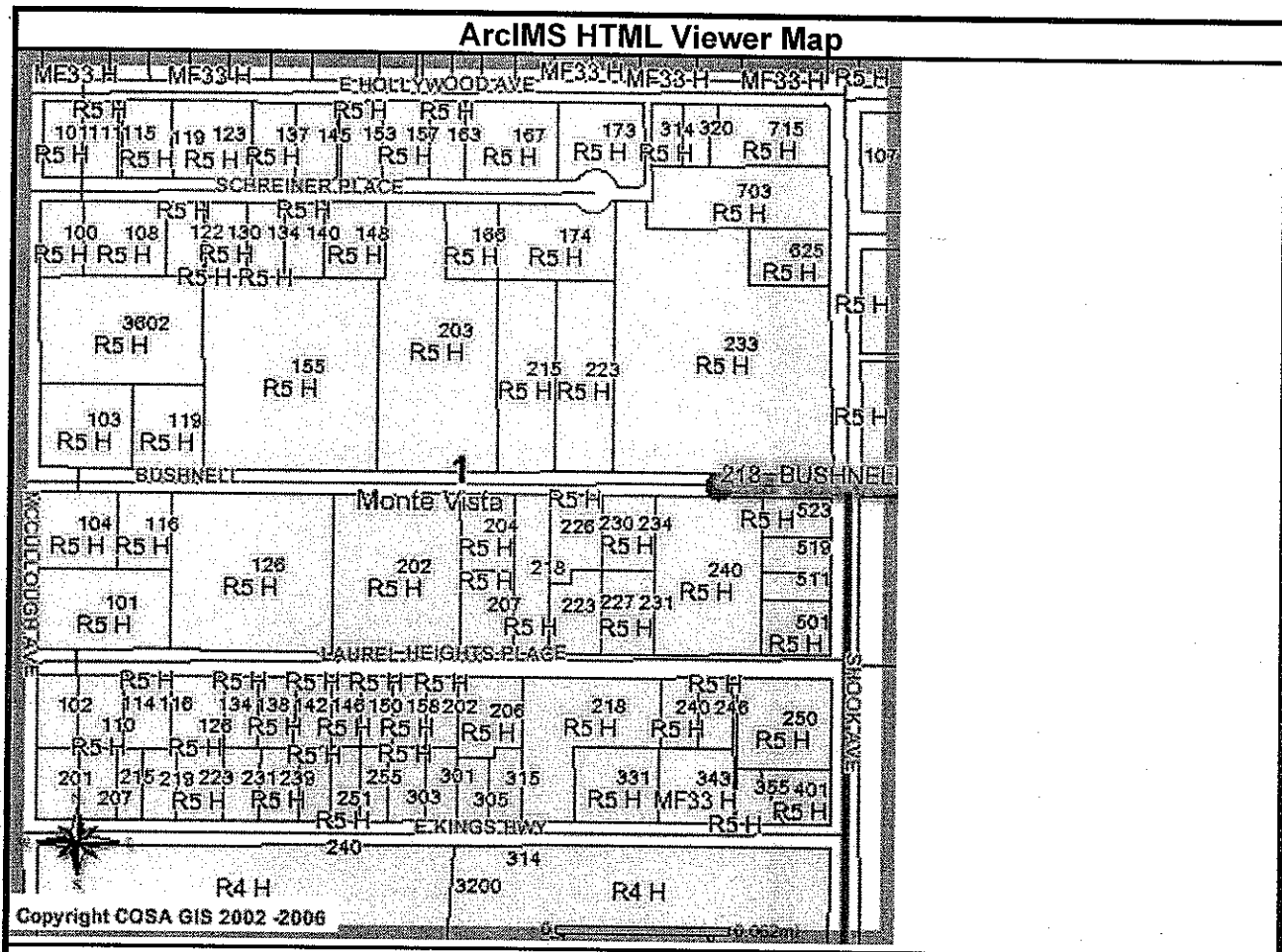
The accompanying exhibits provide additional information.

RECOMMENDATION:

The staff recommends approval of this request as submitted. The proposed changes are architecturally and esthetically appropriate for their setting and will have no adverse effects on the property or the district.

CASE COMMENTS:

Conceptual approval for the screen porch was granted July 19, 2006.



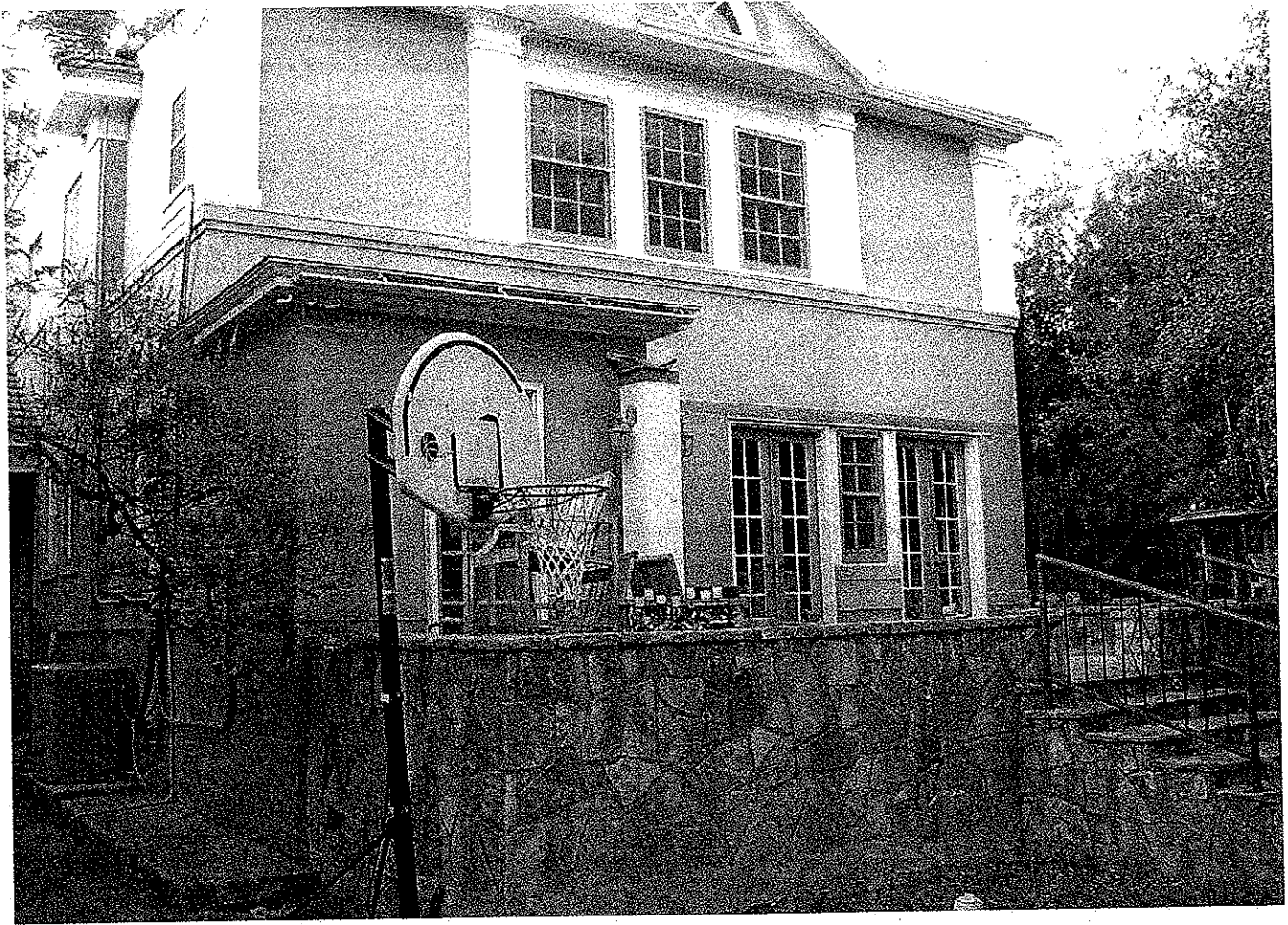


LEWIS RESIDENCE

FRONT ELEV.

SEPT 06

218 BUSHWELL

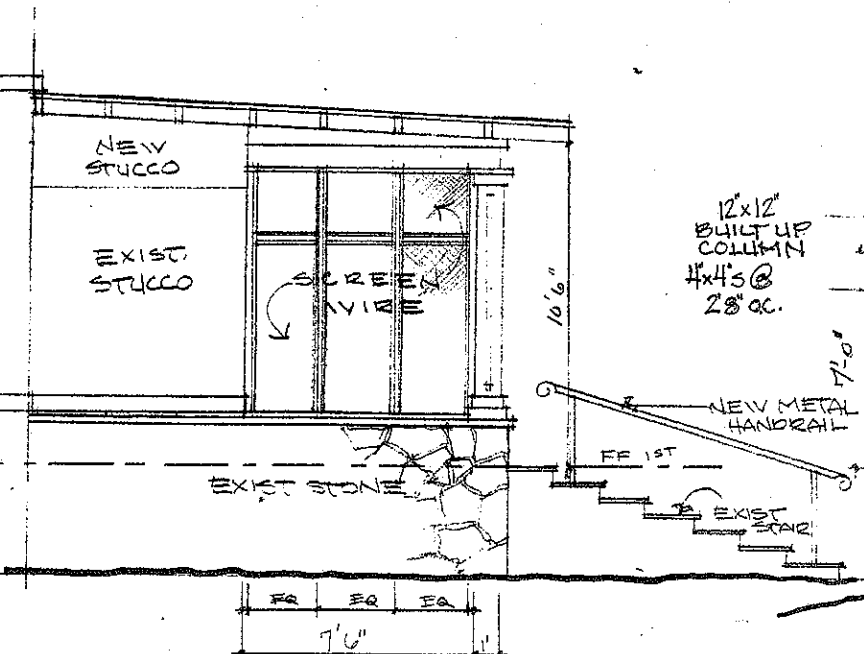


LEWIS RESIDENCE

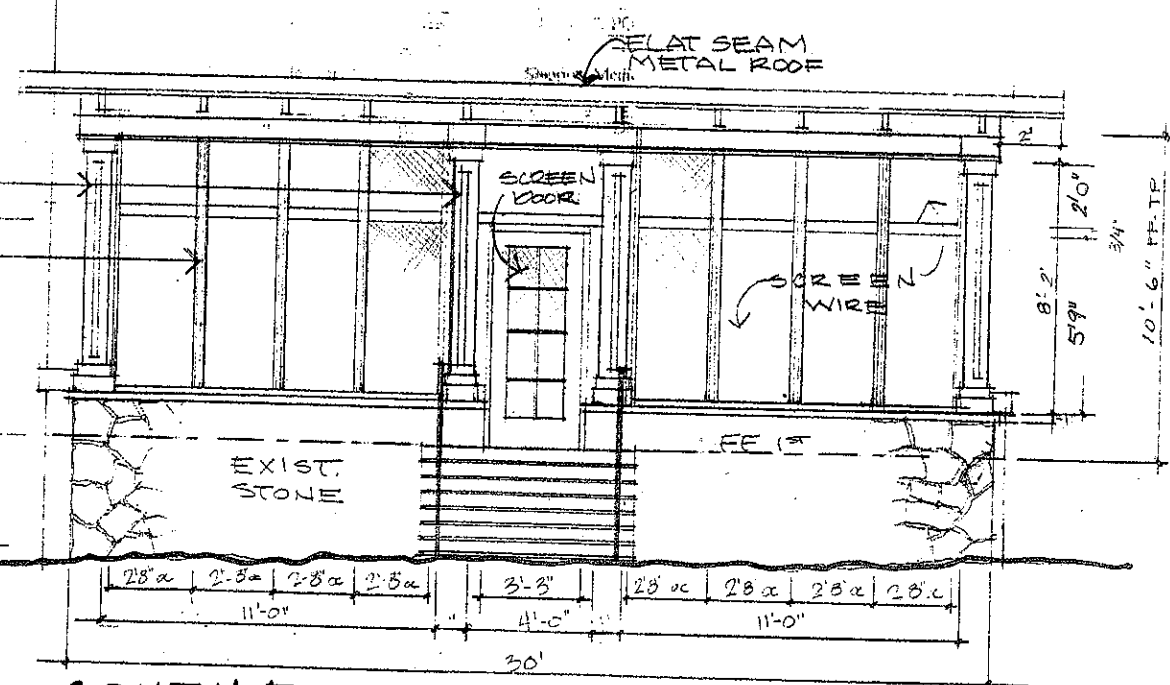
REAR ELEV.

SEPT 06

218 BUSHWELL

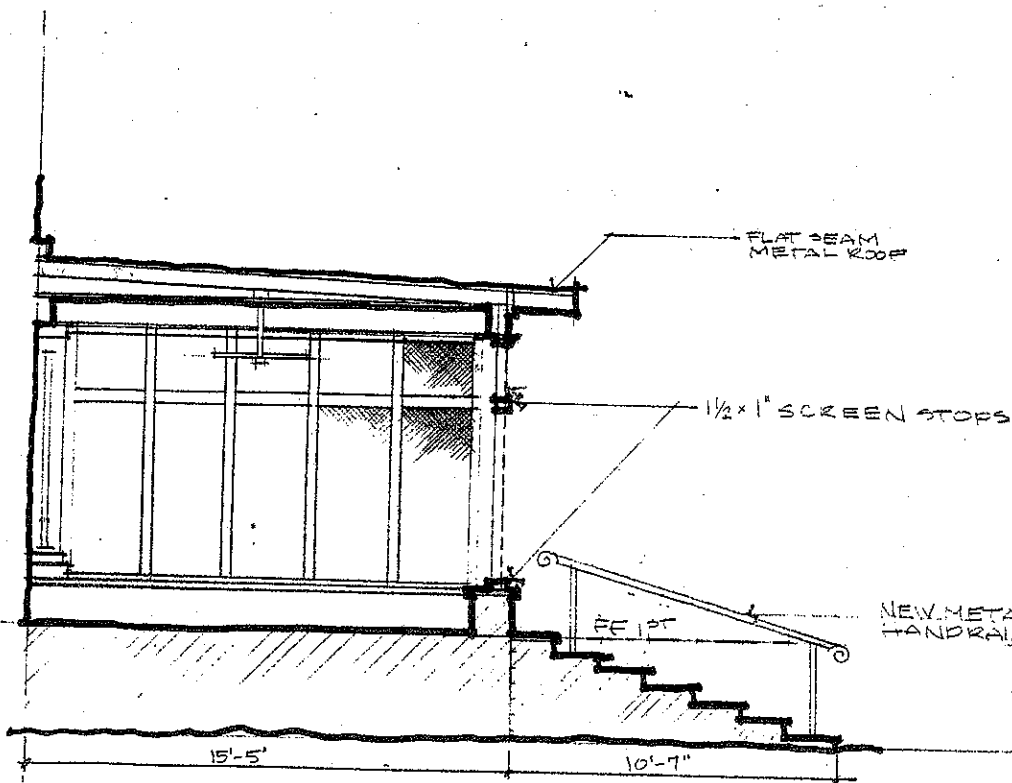


WEST ELEVATION

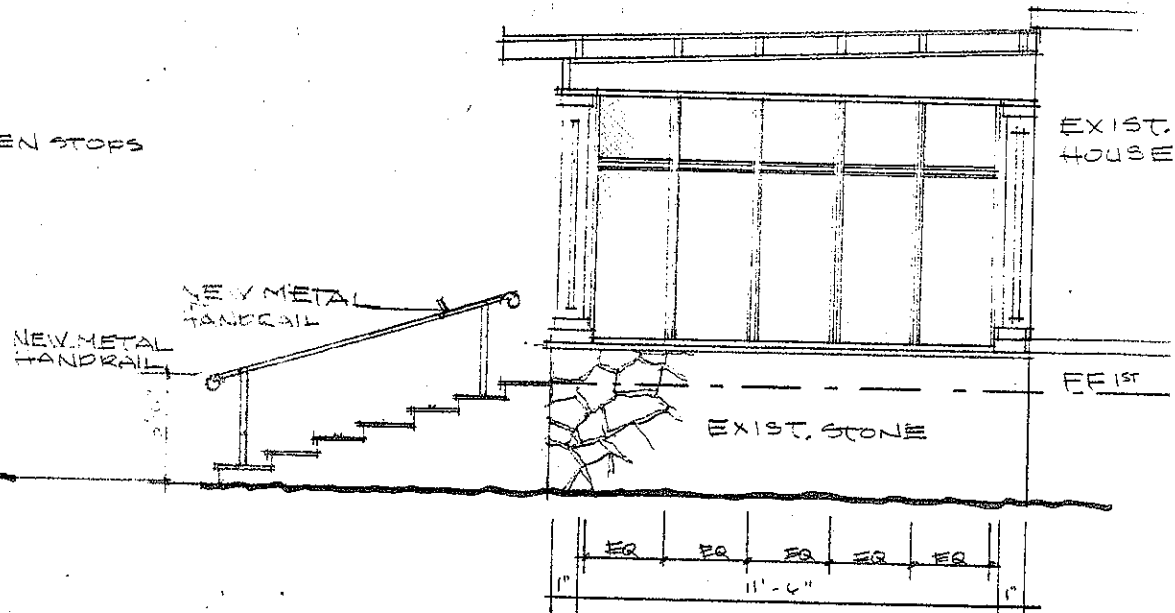


SOUTH ELEVATION
SCALE 1/4" = 1'-0"

LEWIS SCREEN
PORCH
ADDITION

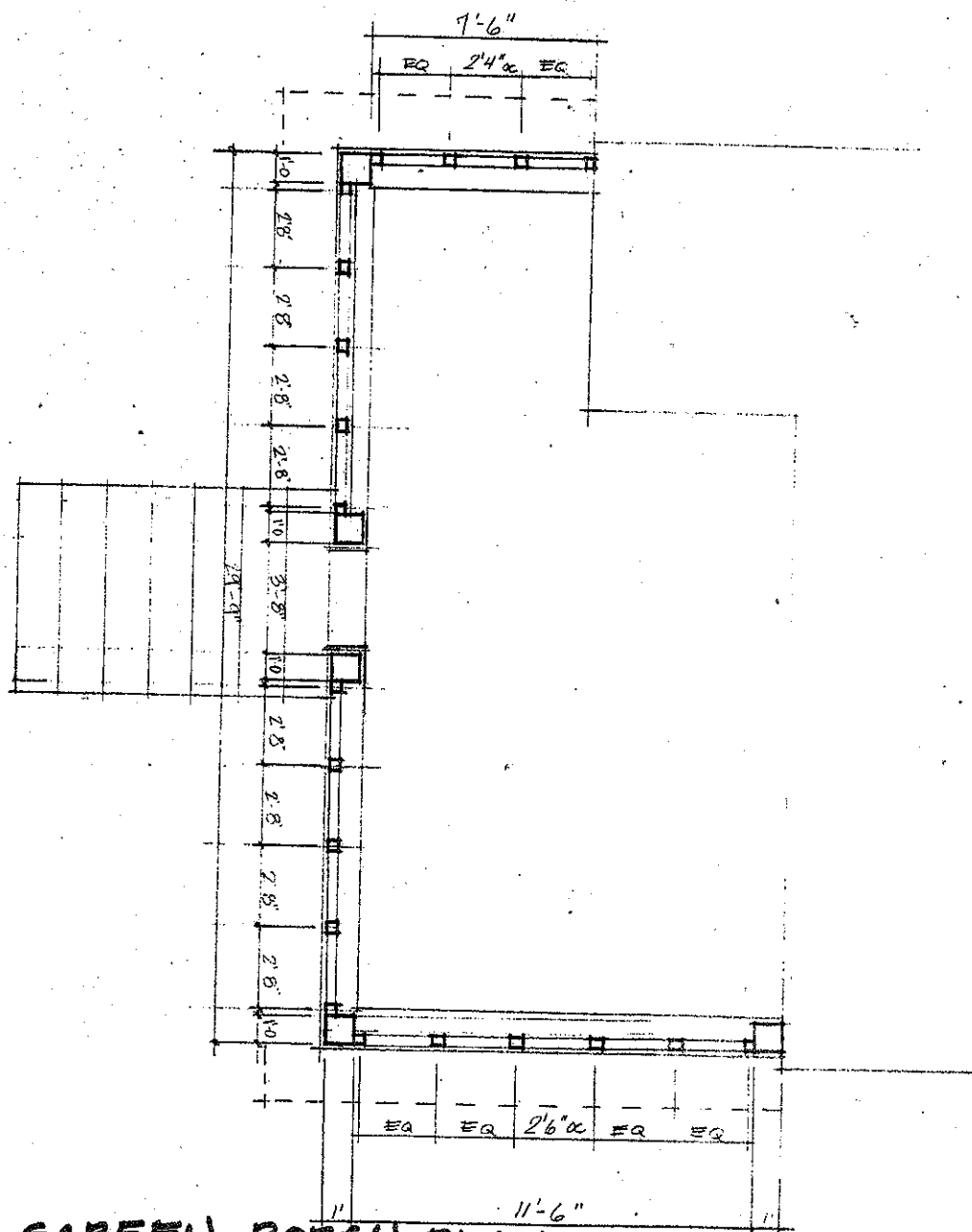


SCREEN PORCH SECTION
SCALE $\frac{1}{4}" = 1'-0"$

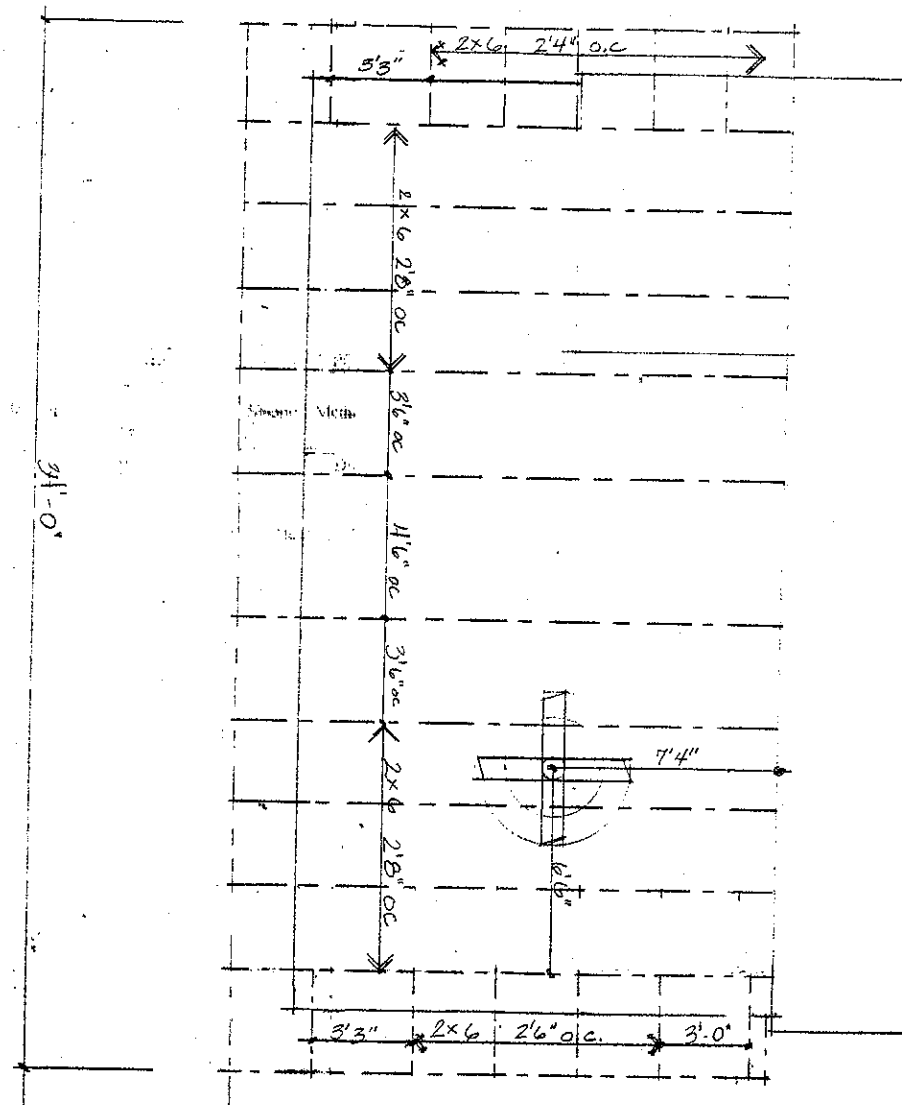


EAST ELEVATION

LEWIS RESIDENCE
SCREEN PORCH
ADDITION



SCREEN PORCH PLAN
SCALE 1/4" = 1'-0"



FRAMING PLAN

LEWIS RES.
SCREEN PORCH
ADDITION

HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 7

HDRC CASE NO: 2006-143B

IDENTIFIER:

ADDRESS: 111 West Crockett Street

LEGAL DESCRIPTION: NCB 148, Block 12, Lot 22

ZONING:

PUBLIC PROPERTY:

COUNCIL DISTRICT:

DISTRICT: RIO-3

LANDMARK:

APPLICANT: Aetna Sign Group

OWNER: Amreit Riverwalk LP

TYPE OF WORK: Signage

REQUEST:

The applicant is requesting Final Approval for the placement of reserve channel lit letter with 1/8" exposed neon outline for "Oh My Goddard Gallery".

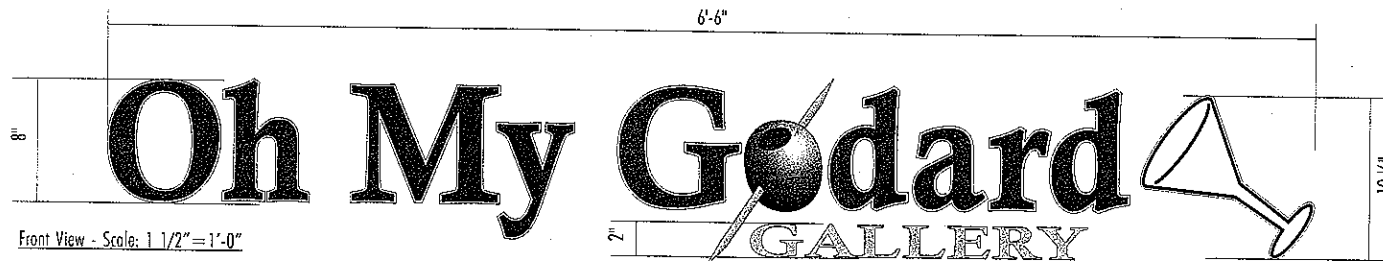
The accompanying exhibits provide additional information.

RECOMMENDATION:

The staff recommends approval of this request as submitted. The proposed signage is less than the 8 sq. ft. allowed per businesses with a public entrance on the Riverwalk.

CASE COMMENTS:





Specifications:

Manufacture And Install One (1) set of rev. Ch. Lit. Letters as shown.

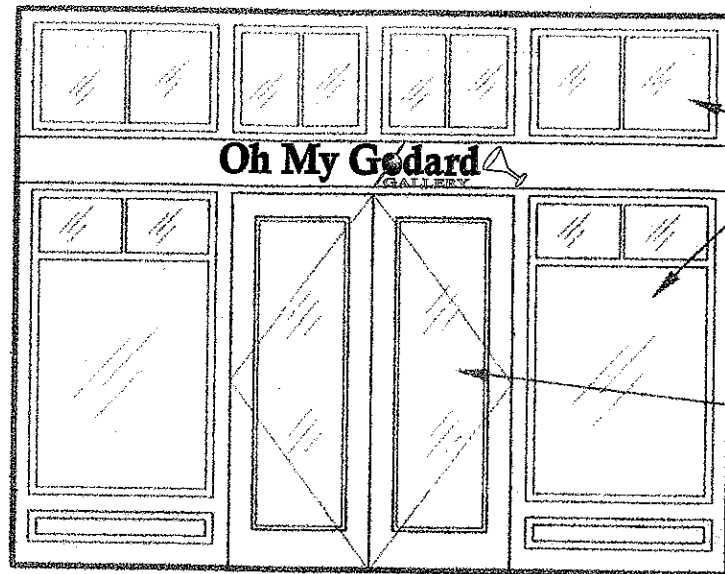
"Oh My" - alum. Construction, face pms#3435c dk.green, 1/8" outline & 3" returns -pms#123c yellow, 2" stand-offs away from building, White LEDs, clear lexan backs.

"G-dard" - alum. Construction, face pms#187c dk.red, 1/8" outline & 3" returns -white, 2" stand-offs away from building, White LEDs, clear lexan backs.

"olive" - alum. Construction, 4" returns - painted with shadows and highlights for dimension, red center routed out, push thru plexi clear w/ red opaque vinyl, 2" stand-offs away from building, clear lexan back, red LEDs for red center, Green LEDs for olive.

"Martini glass" - alum. Construction, face white, 1/8" blue outline detail & 3" returns white, 2" stand-offs away from building, blue LEDs, clear lexan backs.

"Gallery" - alum. F.C.O. - painted pms#123c yellow, 2" stand-off away from building.



Front Elevation View - Scale: 3/8" = 1'-0"

aetna
SIGN GROUP

300 Austin Hwy. Ste. 100
San Antonio, TX 78209
Ph. (210) 826-2600 Fax (210) 477-2323

OVER 75 YEARS OF SIGNING THE BEST NAMES IN BUSINESS
WWW.AETNASIGN.COM

CLIENT	OH MY GODARD
ADDRESS	111 WEST CROCKET ST.
CITY	SAN ANTONIO, TEXAS
SALESPERSON	KAYLA BIRDWELL
DATE	9-5-06
DESIGNER	ARMULFO VILLELA
DRWG #	6798

File: DRWG/MISC/6798_OH MY GODARD
Revision History: 9-7-06, 9-27-06

© 2006 Aetna Sign Group, LTD.

Unpublished Work. Aetna Sign Group, LTD. All rights reserved. This is an original drawing created by Aetna Sign Group, LTD. It is submitted for your personal use; however, it shall at all times remain the property of Aetna Sign Group, LTD. It may be used in connection with the project being planned for you by Aetna Sign Group, LTD., but not otherwise.

You are not authorized to show this drawing to anyone outside your organization, nor is it to be reproduced, used, copied, or exhibited in any fashion.

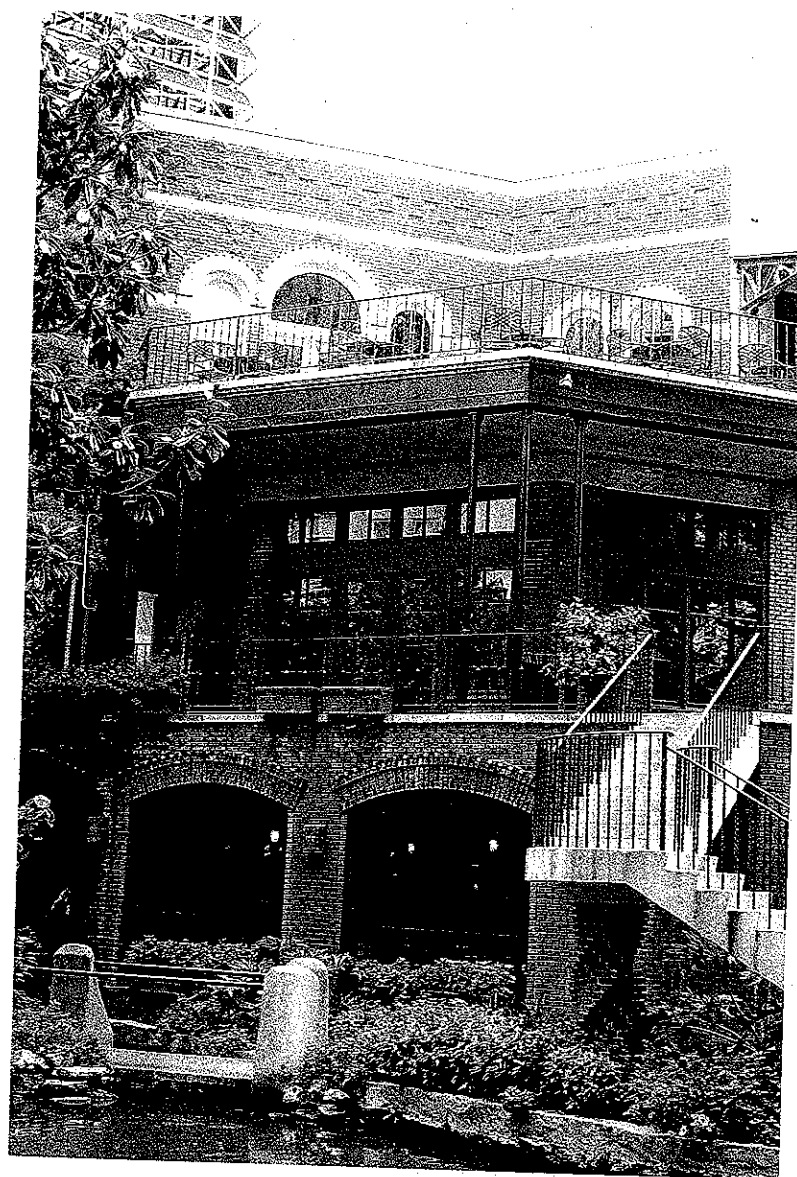
Violation of any of the above shall subject the violator(s) to all statutory and common law damages available to Aetna Sign Group, LTD., including, but not limited to, the value of man hours incurred in the production of this design, attorney's fees, and any and all other costs incurred by Aetna Sign Group, LTD. in the enforcement of its copyrights.

All signs will be manufactured to accommodate 120 volt current unless otherwise instructed by customer.

Note: Aetna will supply transformers, boxes, disconnects, switches & letters. Installers are to provide all other necessary hardware to accomplish installation.

National Building Codes now states all signs that utilize neon transformers, sized at 7,500 volts and up, must utilize UL2161 (GFI) transformers. This type of transformer must have a dedicated electrical (GFI) circuit with ground for the transformer to work. You are responsible to have the proper electrical service to the sign location. Please contact your Aetna Sign Group representative if you need additional

Oh My Godard
GALLERY



HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 8

HDRC CASE NO: 2006-310

IDENTIFIER:

ADDRESS: 316 North Presa on the Riverwalk

LEGAL DESCRIPTION:

ZONING:

PUBLIC PROPERTY:

COUNCIL DISTRICT: 1

DISTRICT: RIO-3

LANDMARK:

APPLICANT: San Antonio Hotel Lodging Assn. - Michael Tease

OWNER: City of San Antonio- Parks

TYPE OF WORK: Placement of Plaque

REQUEST:

Placement of bronze plaque recognizing Hap Veltman's contributions to redevelopment of the Riverwalk and downtown. The plaque will read:

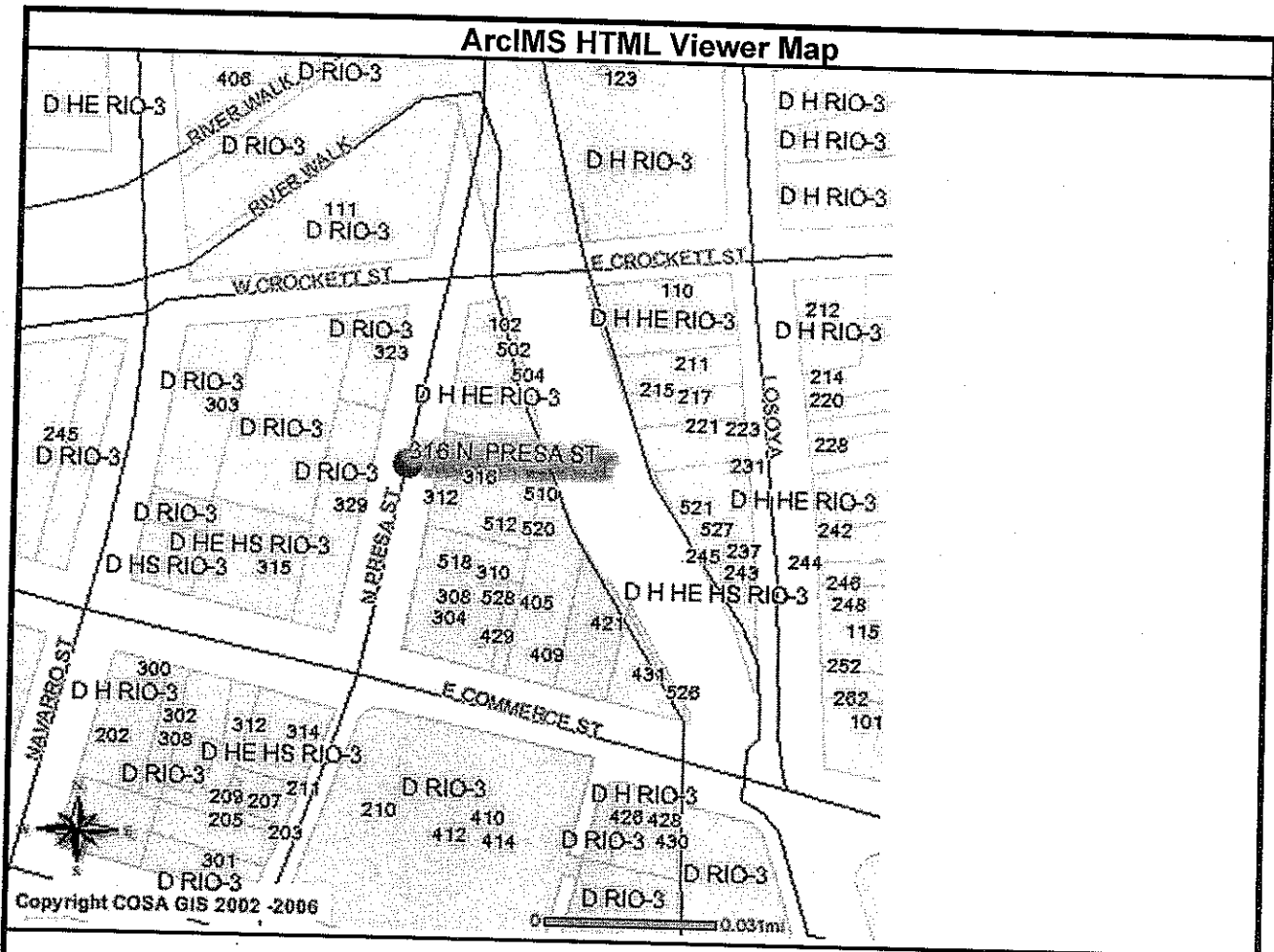
"Dedicated to Arthur "Hap" Veltman for his fervent efforts in the development and preservation of the San Antonio Riverwalk. "Hap" turned an underutilized river into the vibrant district that it is today. His personal involvement and financial investments to open businesses which included restaurants along the Riverwalk, encouraged others to join in the restoration and rehabilitation of downtown San Antonio. Today, the Riverwalk stands as an economic and cultural icon for our city and for the state of Texas."

This marker conforms to our new Marker and Memorial policy.

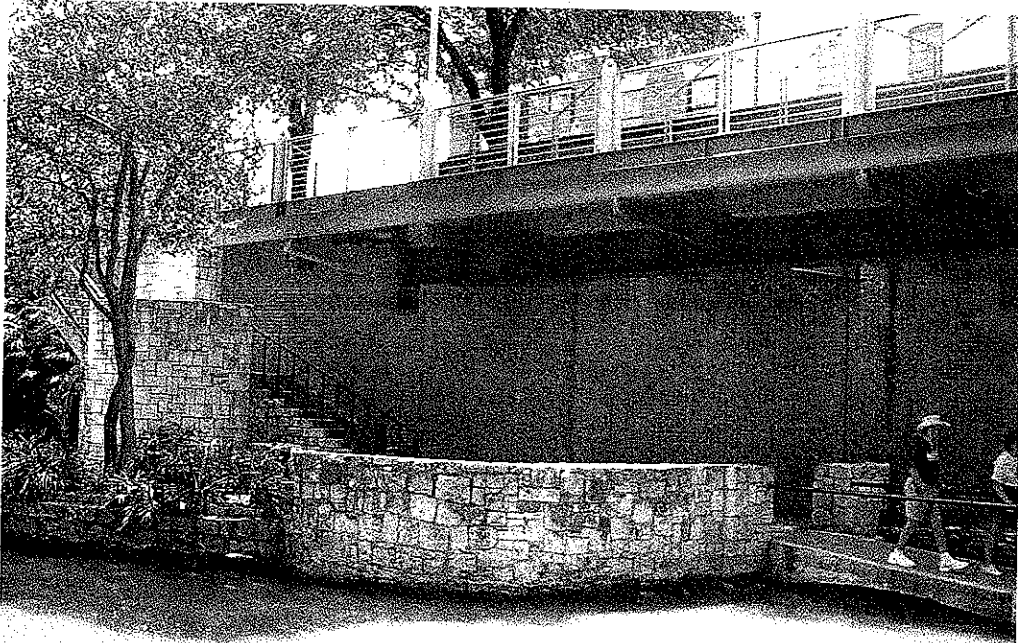
RECOMMENDATION:

The staff recommends approval of this request as submitted.

CASE COMMENTS:



Location for Hap Veltman Plaque





the southwell co.

928 N. Alamo • Box 299 • San Antonio, Texas 78291-0299
(210) 223-1831 Fax (210) 223-8517

DATE: _____

SOLD TO: SAHLA

SHIP TO: _____

ADDRESS: _____ ADDRESS: _____

CITY/STATE _____ ZIP _____ CITY/STATE _____ ZIP _____

PHONE: () _____ ATTN: _____

ORDERED BY: _____ P.O.# _____

☐ CHARGE ☐ SLSMN ☐ MAIL ☐ UPS
☐ PRE-PAID ☐ DELIVER ☐ CWR ☐ P/U

OTHER: _____

☐ MI ☐ WI
☐ PI ☐ DS

SLSMN: _____

Product Code _____

Quantity _____

Rubber Stamp ☐

SUPER STAMP® ☐

Color: _____

Other: _____

☐ AS IS ☐ CTR ☐ FL

Product Code _____

Quantity _____

Rubber Stamp ☐

SUPER STAMP® ☐

Color: _____

Other: _____

☐ AS IS ☐ CTR ☐ FL

Product Code _____

Quantity _____

Rubber Stamp ☐

SUPER STAMP® ☐

Color: _____

Other: _____

☐ AS IS ☐ CTR ☐ FL

Product Code _____

Quantity _____

Rubber Stamp ☐

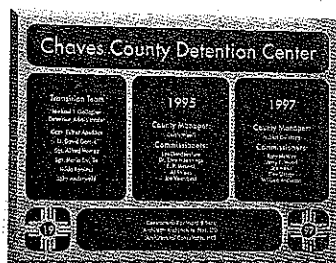
SUPER STAMP® ☐

Color: _____

Other: _____

☐ AS IS ☐ CTR ☐ FL

~~22" x 28" BP~~
(24" x 16" BP)



24" x 16"

PRICE

~~1300.50~~
933.12

SPECIAL INSTRUCTIONS:

AMOUNT

POSTAGE

SUBTOTAL

TAX

TOTAL

Emp. _____ Cust. Sign. _____

Make checks payable to: The Southwell Co.

HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 9

HDRC CASE NO: 2006-311
IDENTIFIER:
ADDRESS: 2109 West Gramercy
LEGAL DESCRIPTION:
ZONING: "R-5 H"
PUBLIC PROPERTY:
COUNCIL DISTRICT: 7
DISTRICT: Monticello Park Historic District
LANDMARK:
APPLICANT: Edwin Mickelson
OWNER: Margo Harding
TYPE OF WORK: Addition, Fencing

REQUEST:

The applicant is requesting a Certificate of Appropriateness for Final Approval to:

- 1) Demolish and rebuild a laundry room
- 2) Replace a chain link fence with a 1x6 inch cedar fence
- 3) Install a decorative metal gate at the driveway

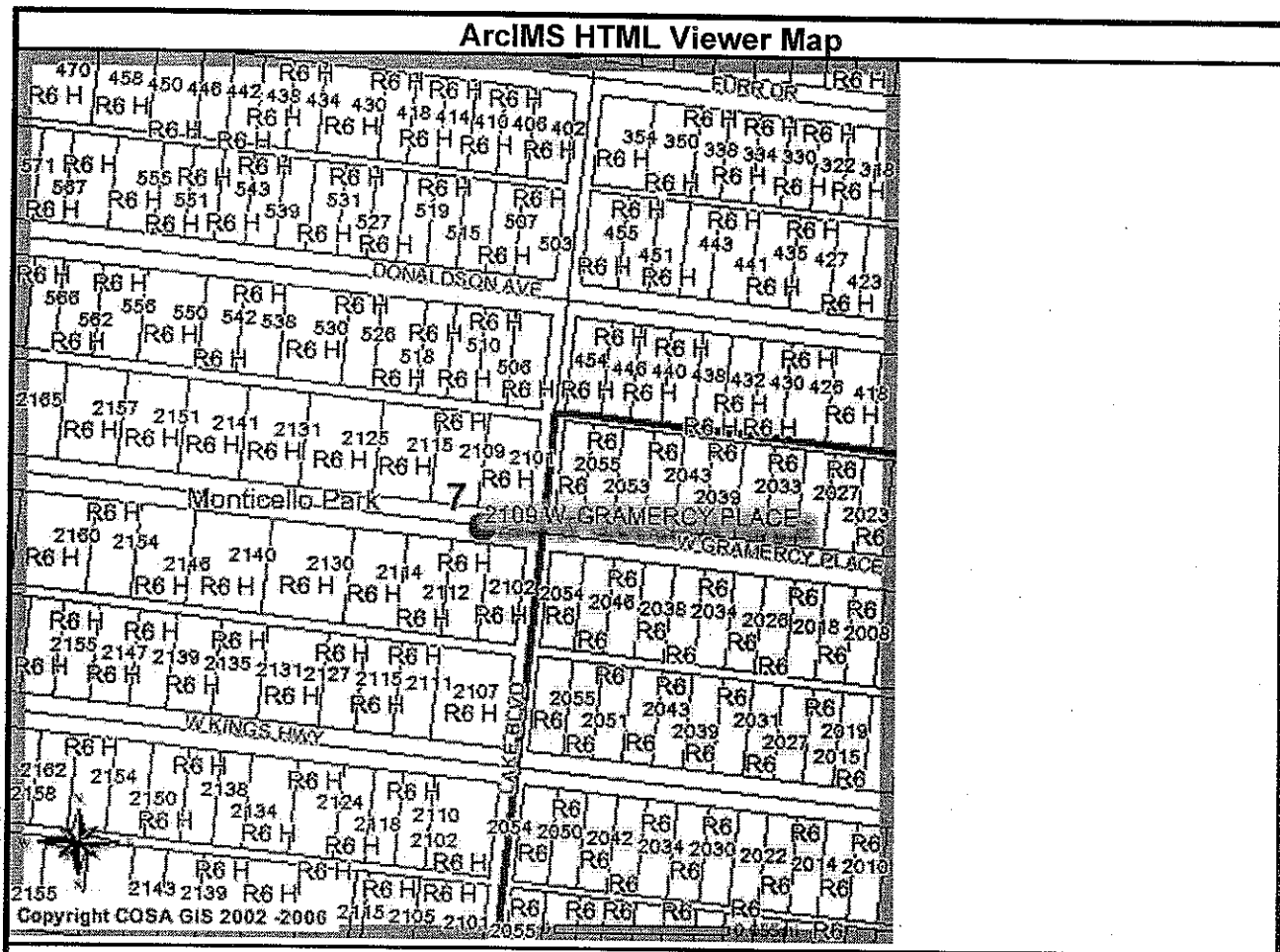
The accompanying exhibits provide additional information.

RECOMMENDATION:

The staff recommends approval of this request as submitted. The proposed changes are architecturally and esthetically appropriate for their setting and will have no adverse effects on the property or the district.

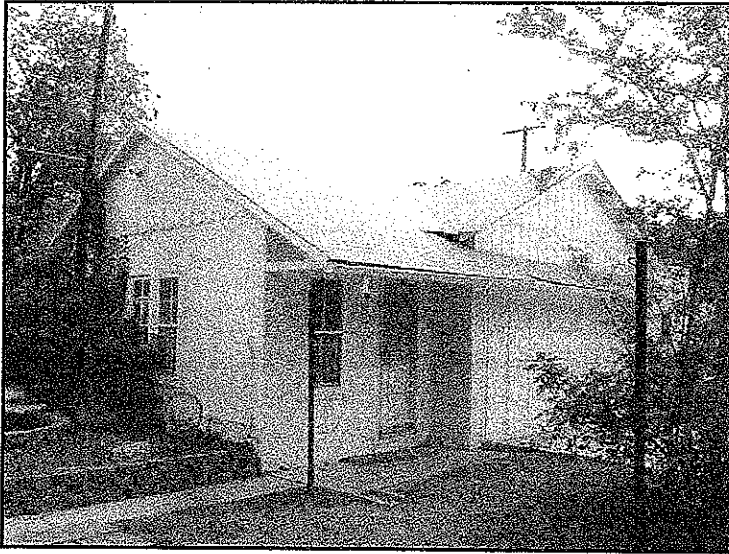
CASE COMMENTS:

Repainting with the same colors, re-roofing with the same material and replacing railings and awnings with the same materials was approved through a Repair and Maintenance Form.



Subject Photo Page

Borrower	Harding		
Property Address	2109 W Gramercy Pl		
City	San Antonio	County	Bexar
State	TX	Zip Code	78201-4823
Lender	Texas First Mortgage		

**Quarters/Garage**

2109 W Gramercy Pl

Sales Price 237,900

G.L.A. 2,305

Tot. Rooms 8

Tot. Bedrms. 3

Tot. Bathrms. 2.5

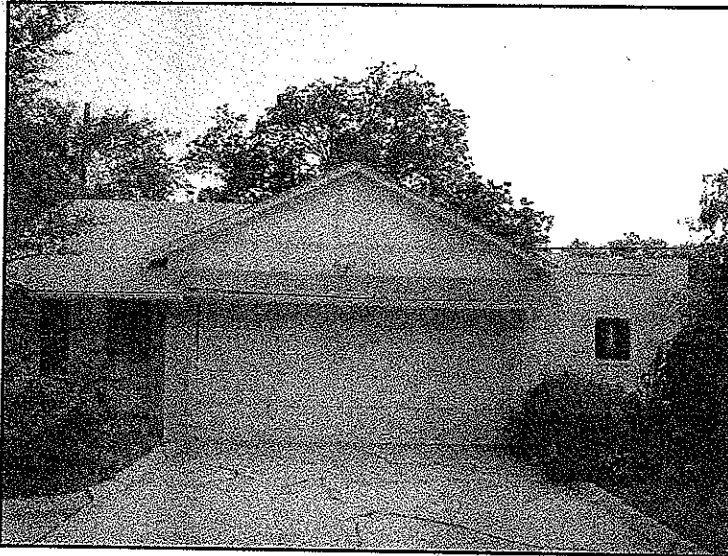
Location Average

View Average/SFR

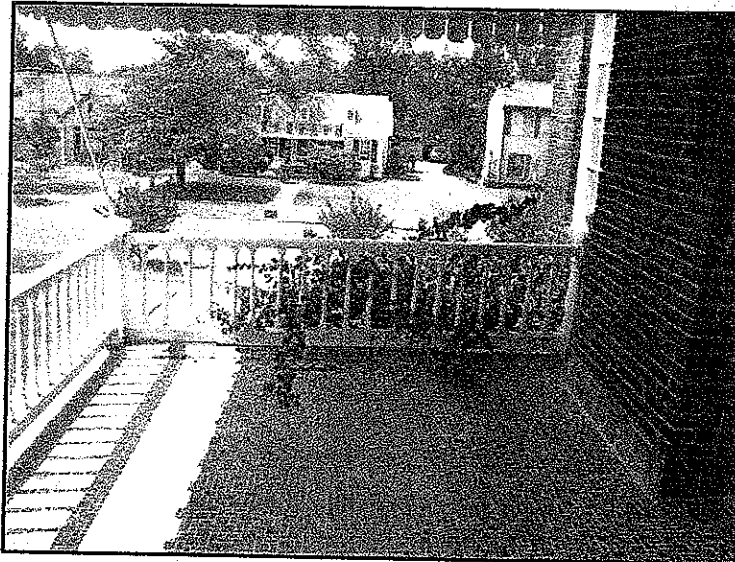
Site 12,532 Sq.Ft.

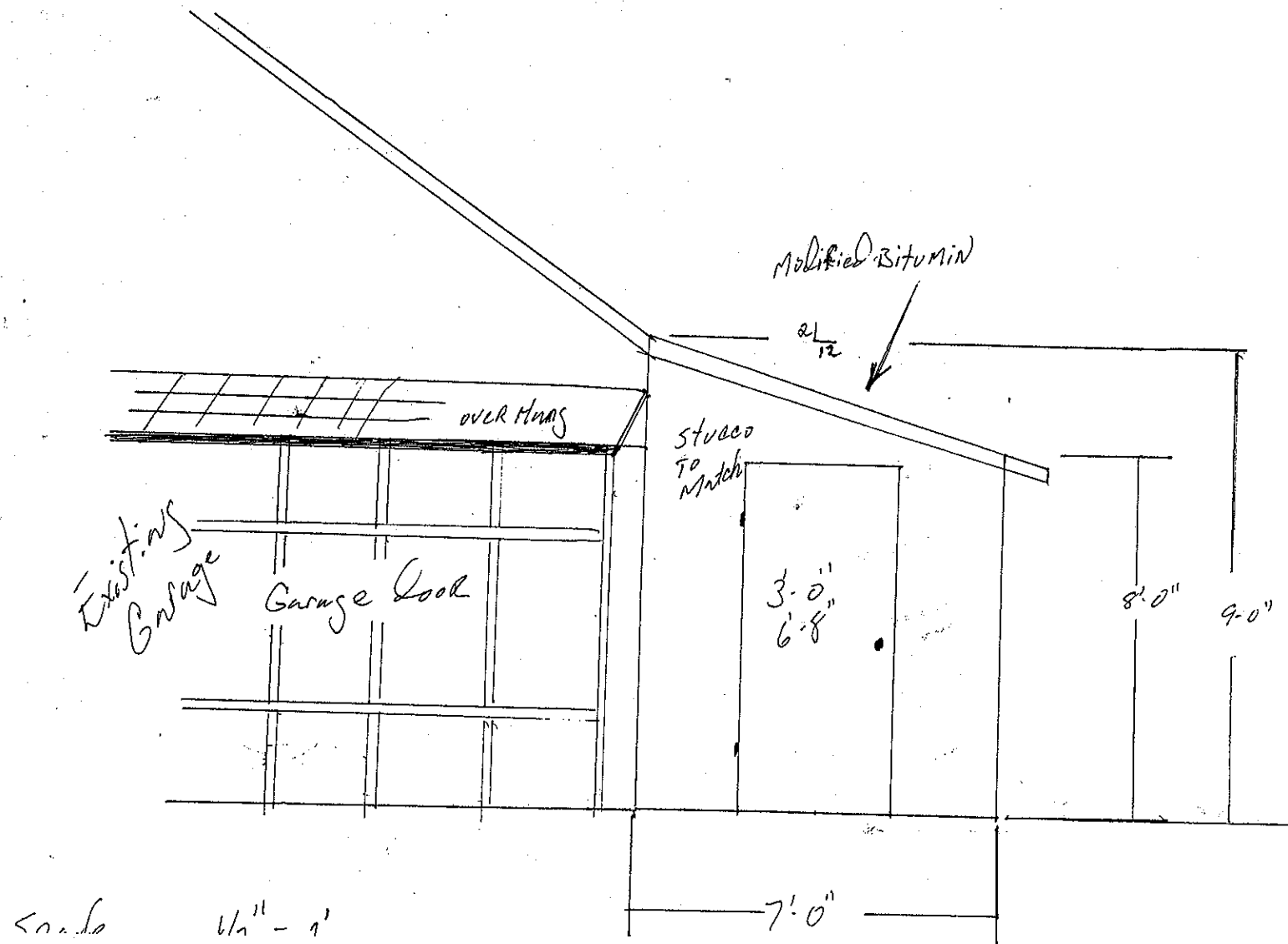
Quality Average

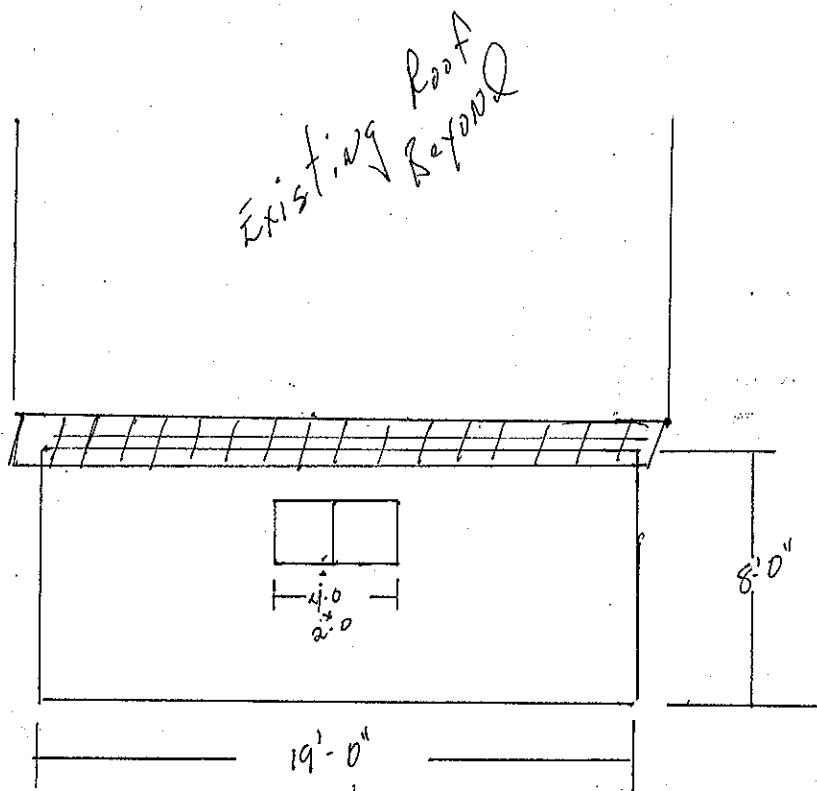
Age 69 Yrs

**Garage**

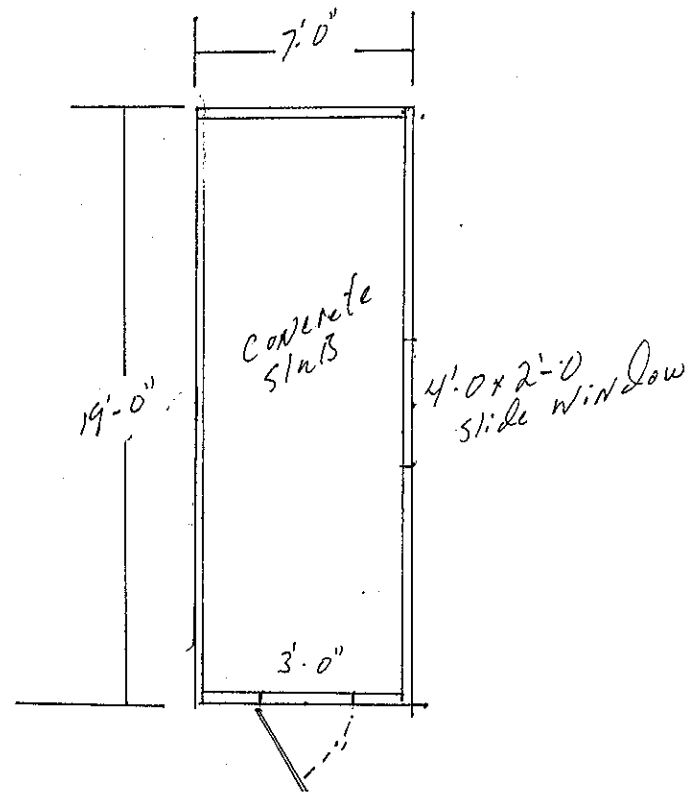
Wash
Room
←

**Balcony Off Master**

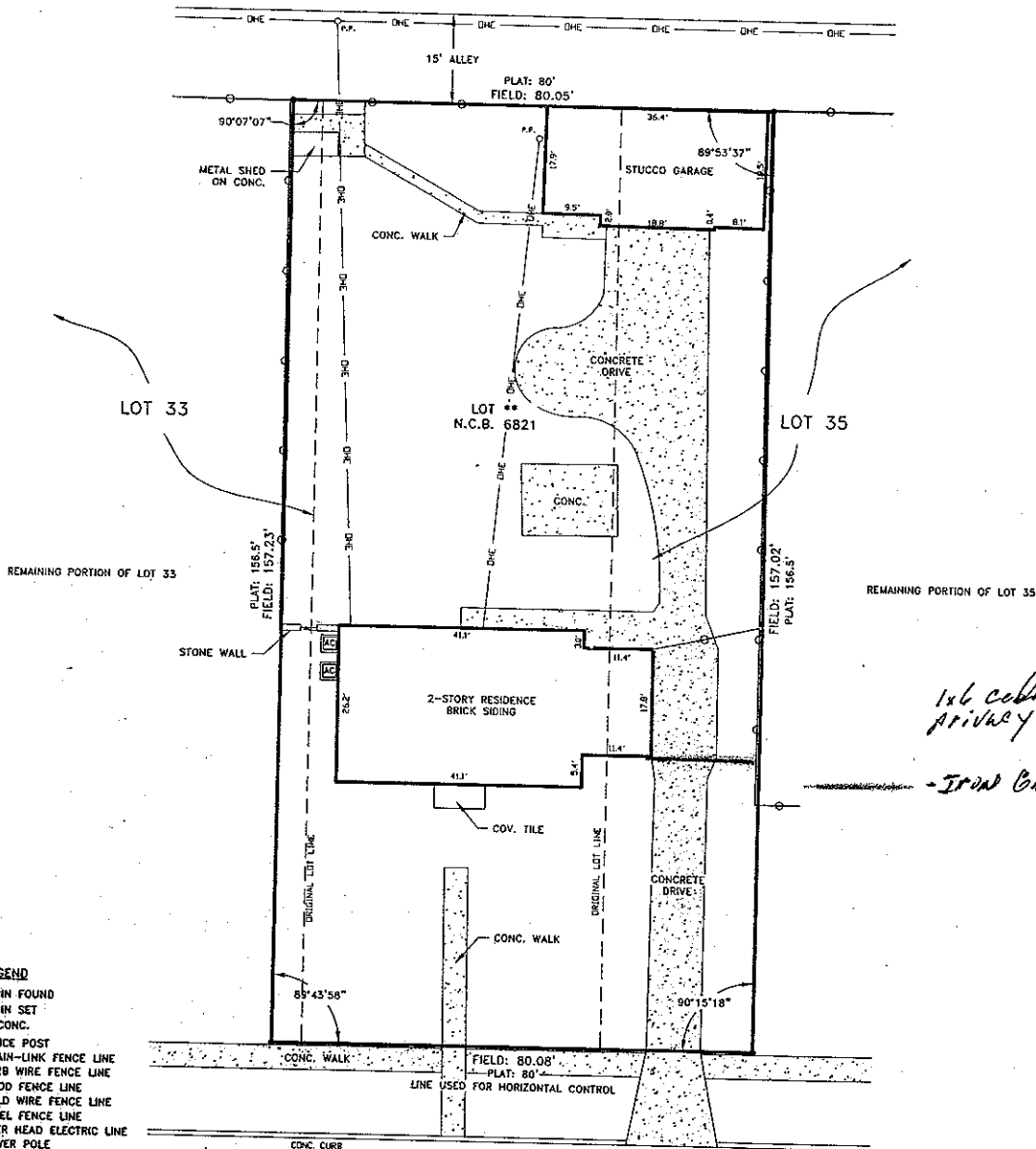
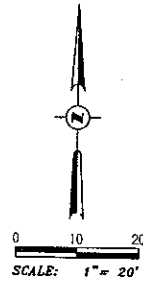




make 1/4" = 1'



WOODLAWN PARK, FIRST UNIT



WEST GRAMMERCY PL.
(A.K.A. W. GRAMERCY PL.)
60' R.O.W.

PLAT LEGEND

- 1/2" IRON PIN FOUND
- 1/2" IRON PIN SET
- "X" SET IN CONC.
- DENOTES FENCE POST
- DENOTES CHAIN-LINK FENCE LINE
- DENOTES BARB WIRE FENCE LINE
- DENOTES WOOD FENCE LINE
- DENOTES FIELD WIRE FENCE LINE
- DENOTES STEEL FENCE LINE
- DENOTES OVER HEAD ELECTRIC LINE
- DENOTES POWER POLE
- DENOTES METER POLE
- DENOTES GUY WIRE
- AIR CONDITION UNIT
- TELEPHONE RISER
- CABLE TELEVISION RISER
- ELEC. TRANSFORMER BOX

** SURVEY PLAT OF

EAST 5 FEET OF LOT 33, ALL OF LOT 34, AND WEST 25 FEET OF LOT 35, NEW CITY BLOCK 1, WOODLAWN PARK, FIRST UNIT, IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS, BEING TO PLAT THEREOF RECORDED IN VOLUME PAGE 35, DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.

PREPARED BY: MARGO HARDING

LESS: 2109 WEST GRAMMERCY PL., CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS.

THE INFORMATION PROVIDED BY: ALAMO TITLE (G.F.) REFERENCE: 05-25011217
I, the undersigned, being a duly qualified and licensed Surveyor in the State of Texas, do hereby certify that the above plat is true and correct according to an actual survey made on the ground under my supervision and that there are no visible encroachments or encroachments of any kind upon the property shown on this plat, and that all points have been located as indicated above on the data on this plat, and that the same are correct and reliable for all purposes. Declaration is made, so that purchasers of and is not transferable to additional institutions or subsequent owners, and that the same are not subject to any other claims or interests. Other matters of which may affect this tract have not been researched.

22ND day of JUNE, 2006 A.D.

D.B. R.M.A.
S.B. H.L./M.L.

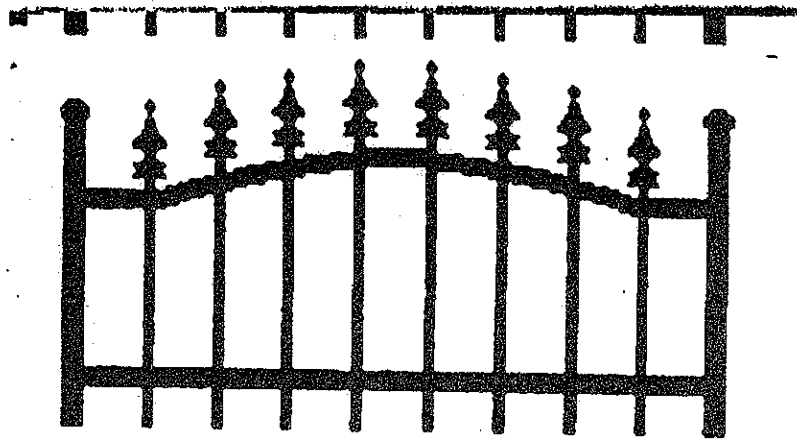
*RESTRICTIVE COVENANTS:
VOLUME 987, PAGE 303
DEED RECORDS

Survey Associates
2544 BOSSWALK
SAN ANTONIO, TEXAS 78217
(210) 628-1102

REYNALDO MARTINEZ, JR.
REGISTERED PROFESSIONAL
LAND SURVEYOR No. 5482

WORK ORDER NO. 05-6-35

Margo Harding
4/22/06



KEY
539-2971

Gate To Go Across Drive
at CORNER of House.

Gate access to Back Yard
on left side of House

HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No:

10

HDRC CASE NO: 2006-312

IDENTIFIER:

ADDRESS: 321 Madison

LEGAL DESCRIPTION: NCB 743 BLK 2 LOT 6

ZONING: "RM-4 H HS" Mixed Residential Historic District Historic
PUBLIC PROPERTY: Significance

COUNCIL DISTRICT: 1

DISTRICT: King William Historic District

LANDMARK: Elmendorf House

APPLICANT: Jonathan & Deborah Bailey

OWNER: Same

TYPE OF WORK: Demolition, Renovation

REQUEST:

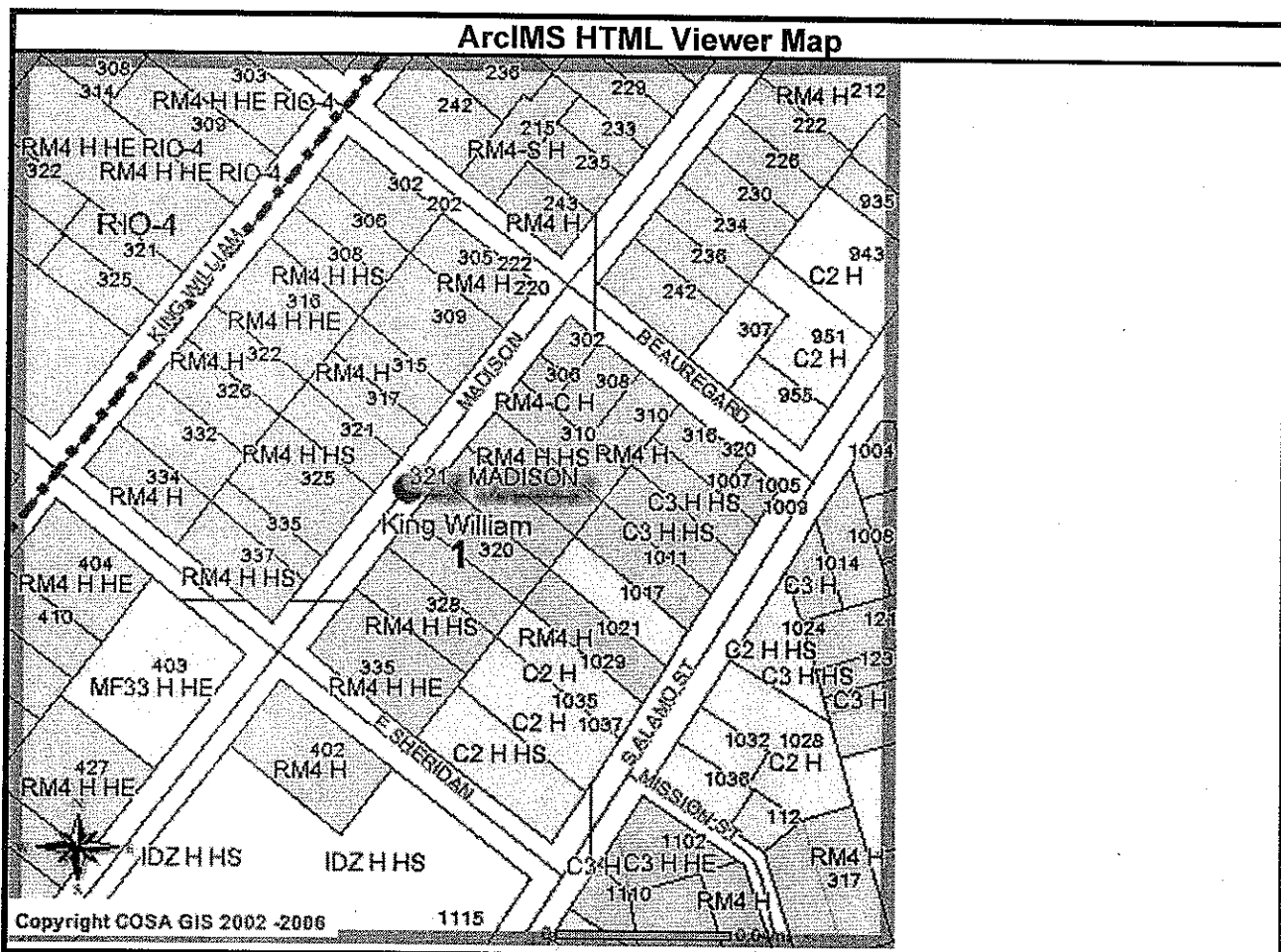
The applicant is requesting a Certificate of Appropriateness for Final Approval to:

- 1) Remove a 2nd story porch and bathroom added in the 1970's
 - 2) Restore the 2nd story to original exterior (much of the exterior siding is still present inside the enclosed porch and bathroom)
 - 3) Remove additions to porch and enclose at original porch line
 - 4) Siding, trim details and colors will match the existing exterior.
 - 5) Two new windows will be added to match the existing windows
- The accompanying exhibits provide additional information.

RECOMMENDATION:

The staff recommends approval of this request as submitted. The proposed changes restoring the house to its original appearance. The changes are architecturally and esthetically appropriate for their setting and will have no adverse effects on the property or the district.

CASE COMMENTS:




CITY OF SAN ANTONIO
DEPARTMENT OF PLANNING
06 SEP 18 PM 1:25

The planned work would remove certain minor additions added to the structure in the 1970's which were poorly constructed and are not in character with the older portions of the structure. The original first floor was built pre-1900. A second story was added circa 1914. Thereafter several small additions were made. The original structure had an exterior porch with sloped roof. This porch was enclosed and a small room added on beyond the porch line in the 1970's. Then an enclosed porch was built on top of the first floor porch. The upper porch was actually built directly onto the sloped roof deck of the 1st story porch, which has resulted in sagging due to insufficient load bearing. An upstairs bathroom was also added, again built directly on top of the roof deck, and it too is sagging.

I propose to remove the upper porch and upper bathroom and thereby restore the second story to its original exterior. Windows to match existing will be restored to what appears to be their original location. Much of the exterior siding is still present inside the enclosed porch and bathroom. This will restore much of the original historic character of the home.

I also propose to remove the small room on the first floor, level the hallway (former 1st floor exterior porch), move the exterior wall line back to the dimensions of the original first story exterior porch, though it will remain enclosed. The sloped roof will be restored and roofing materials used that will match the main house. All siding, trim details, and colors will match the existing exterior. Two new windows will be added to match the windows of the 1914 addition to the original limestone structure.



Remove 1970s additions
to structure

A perspective sketch of a two-story house with horizontal siding. The house has a gabled roof and a front porch. There are several windows, some of which are marked with lines indicating restoration work. A car is parked on the street to the right, and there are trees in the background. The sketch is done in a loose, hand-drawn style with some shading.

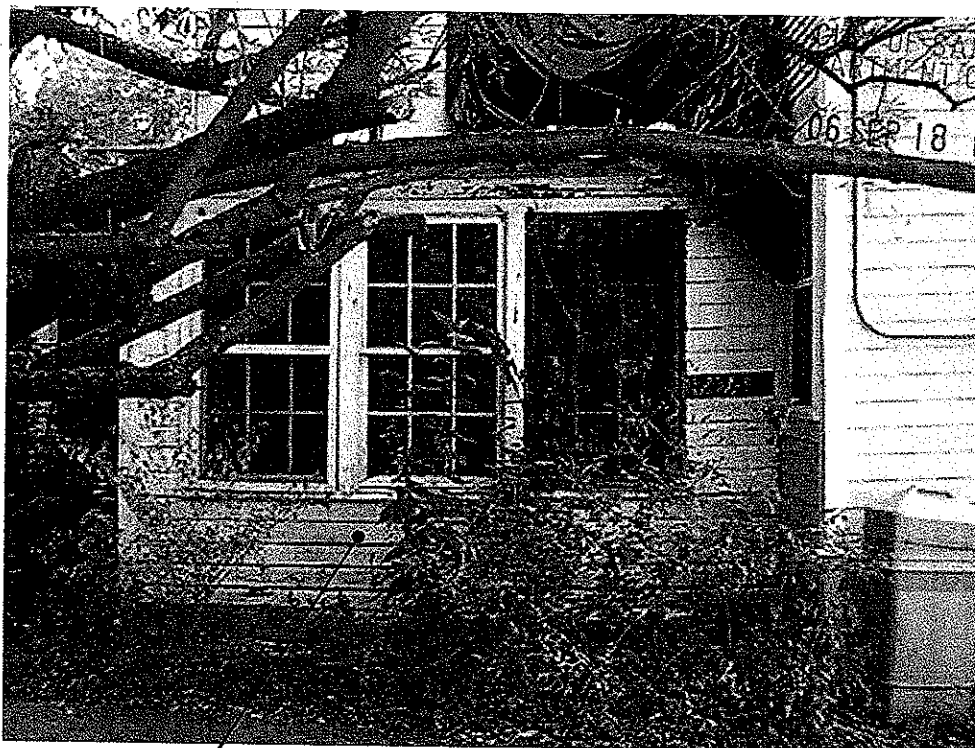
Restore original facade
and replace windows.
Siding, trim, details, and
paint colors to match
existing.

Remove additions to
porch and enclose at
original porch line.

New windows to match
existing

Perspective Sketch
321 Madison

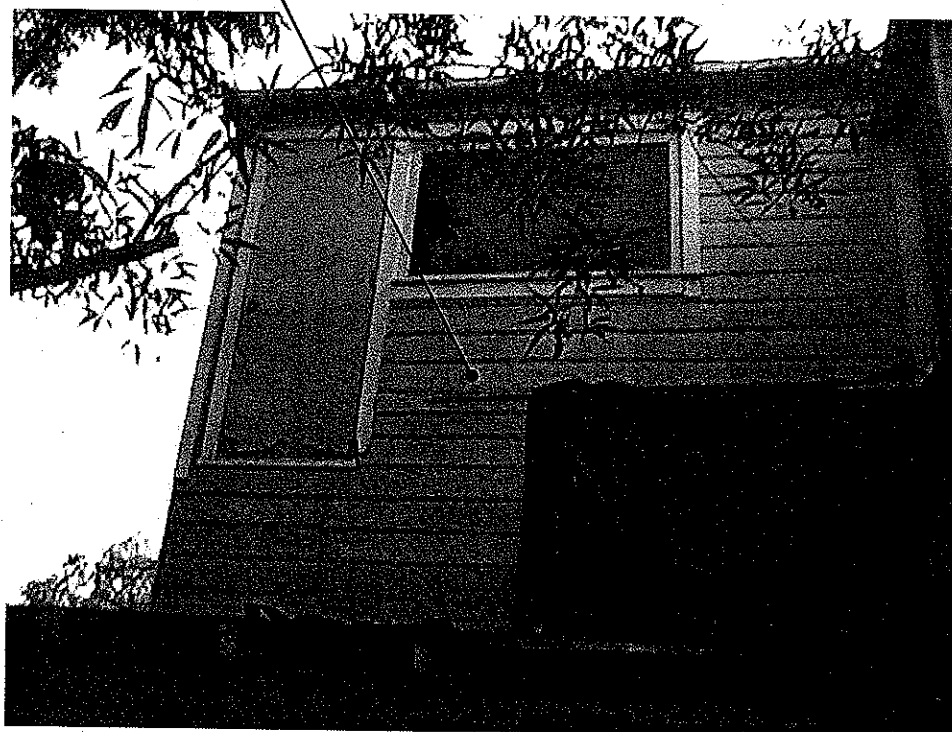
CITY OF SAN ANTONIO
DEPARTMENT OF PLANNING
SEP 18 PM 1:25



CITY OF SAN ANTONIO
DEPARTMENT OF PLANNING
06 SEP 18 PM 1:25

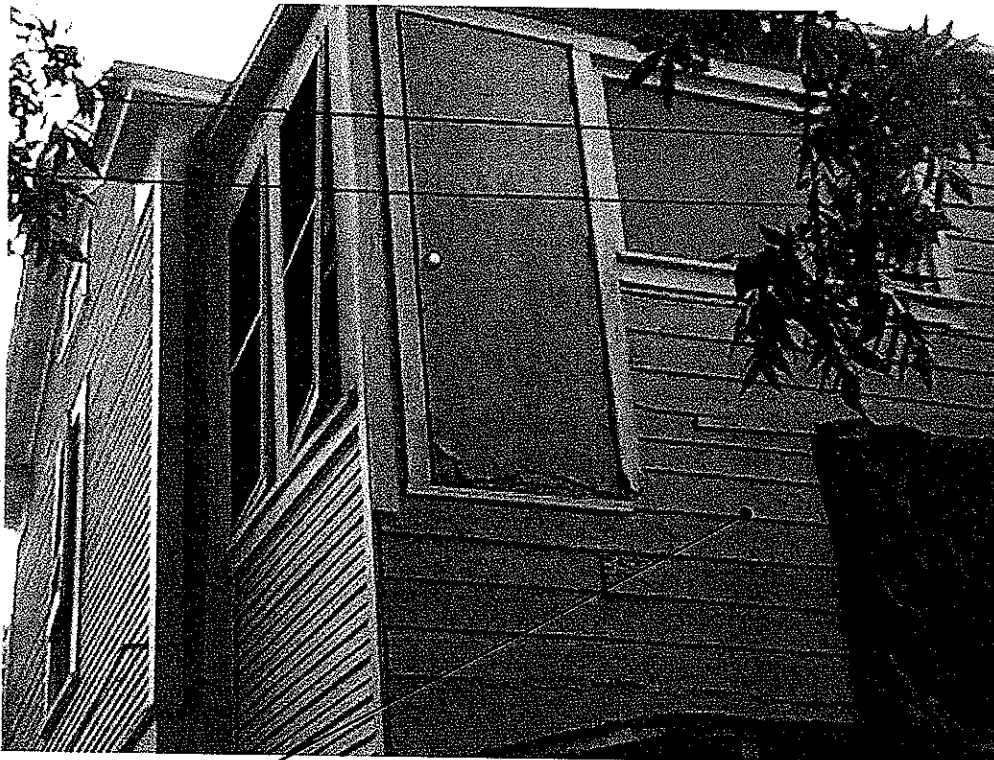
Remove 1970s additions
to structure

Existing Enclosure



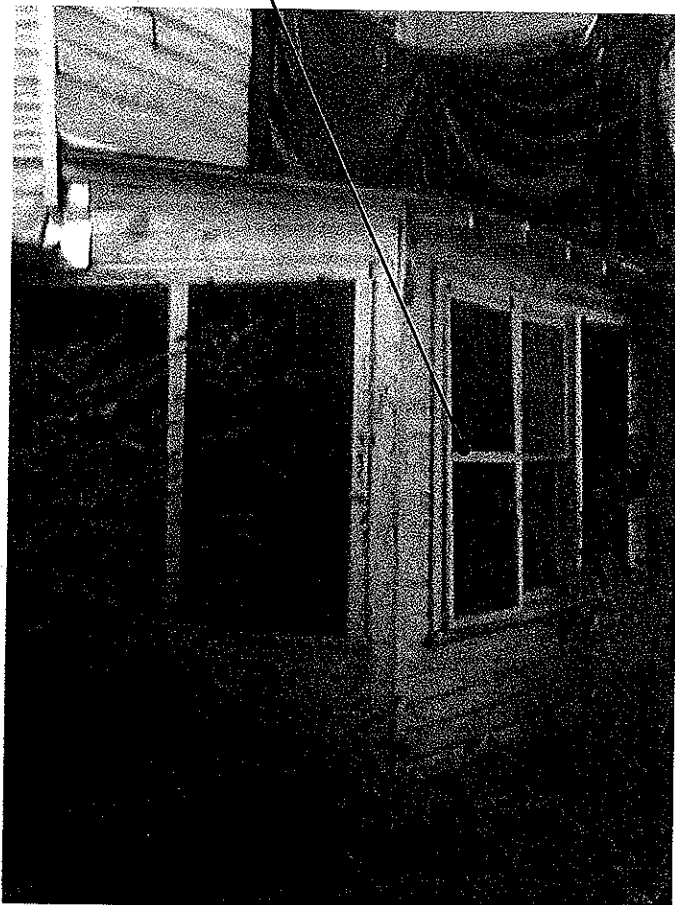
Existing Enclosure

321 Madison



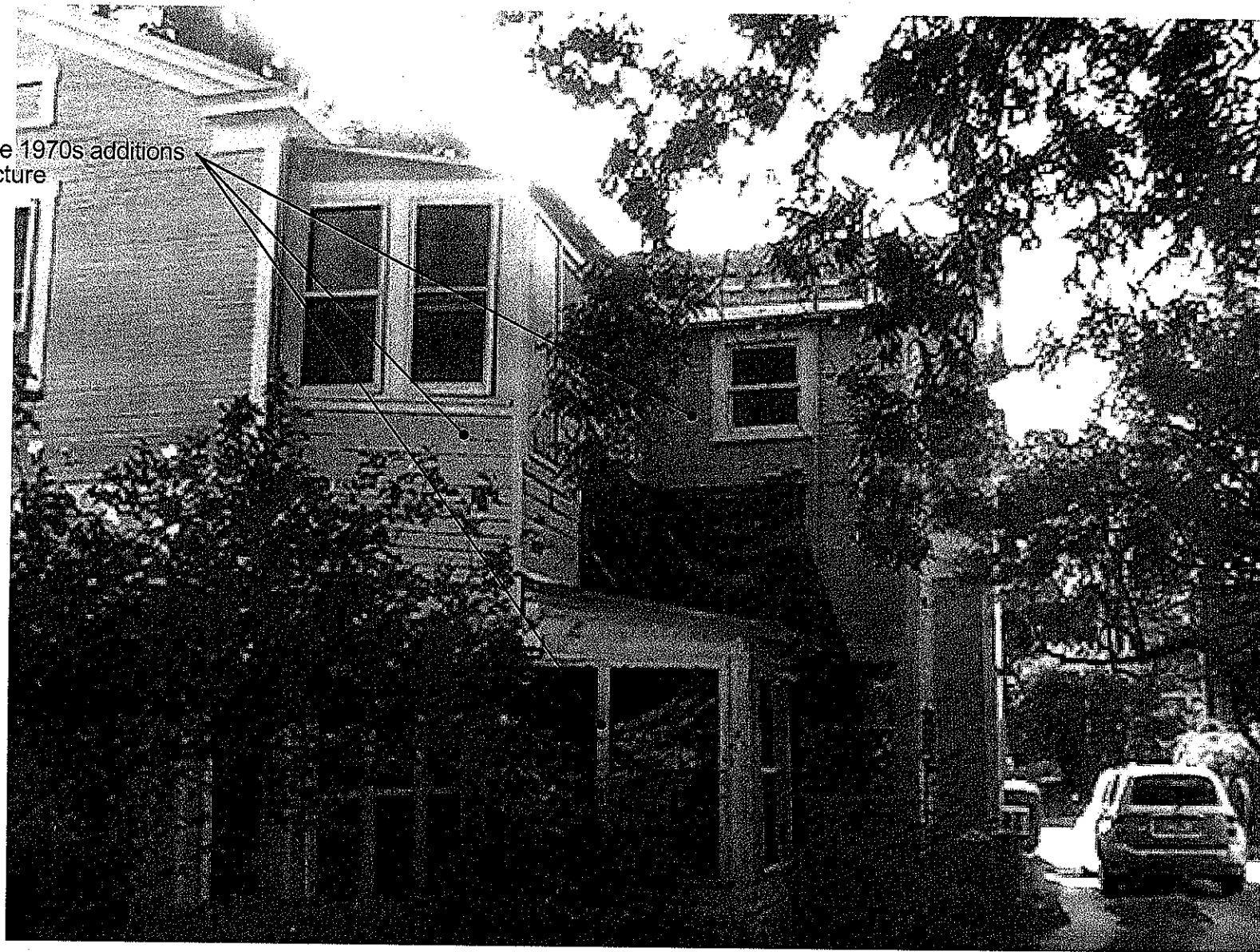
Remove 1970s additions
to structure

Existing Enclosure

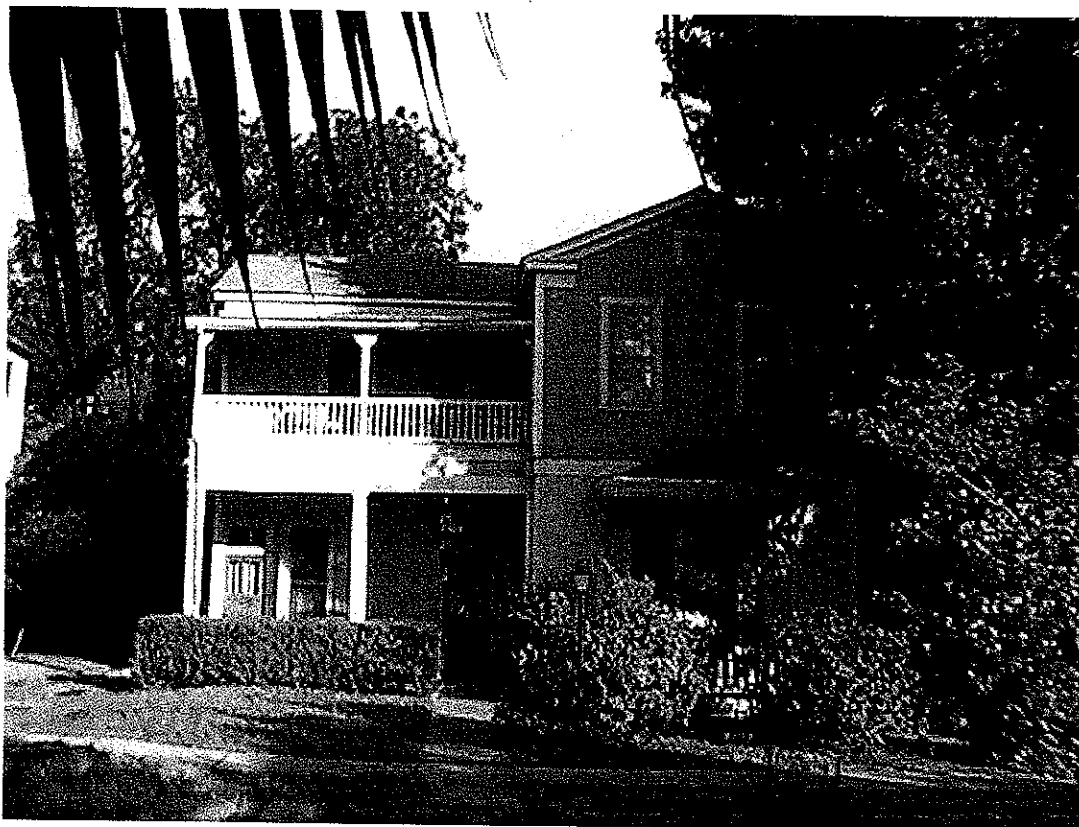


Existing
Enclosure

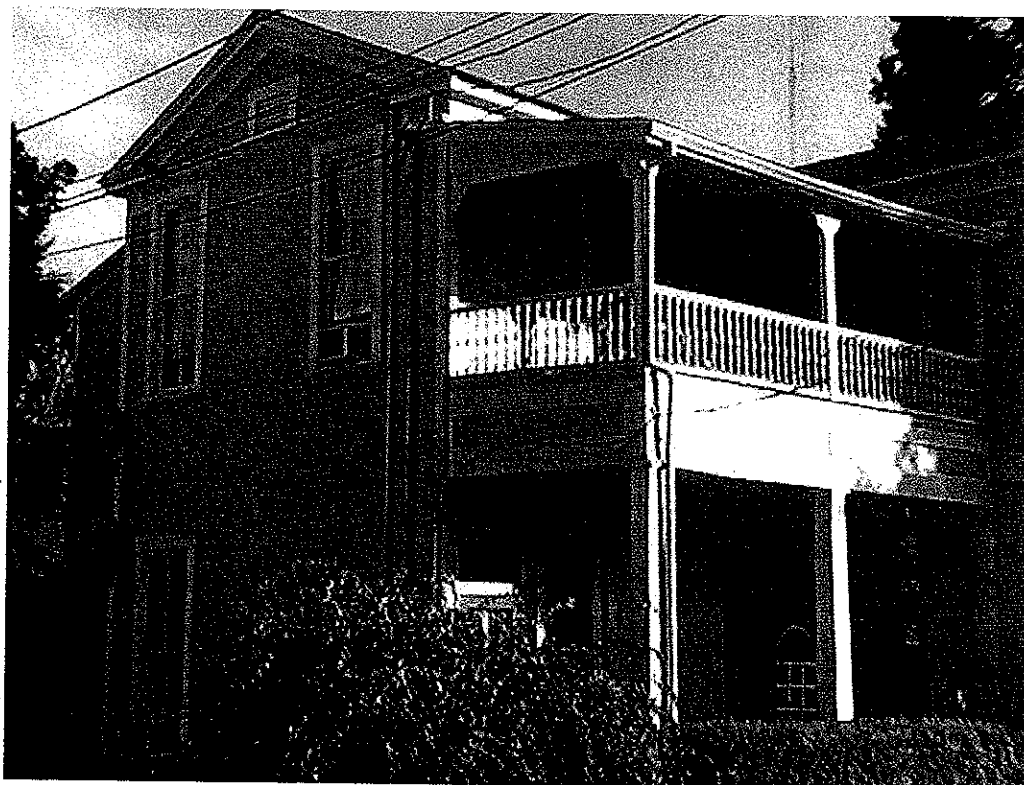
Remove 1970s additions
to structure



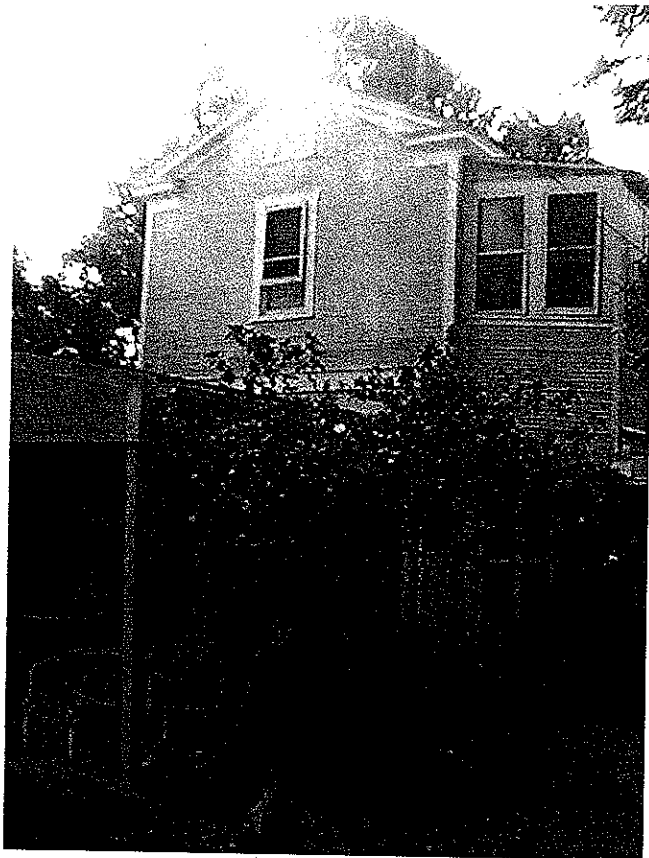
View of Work area
321 Madison



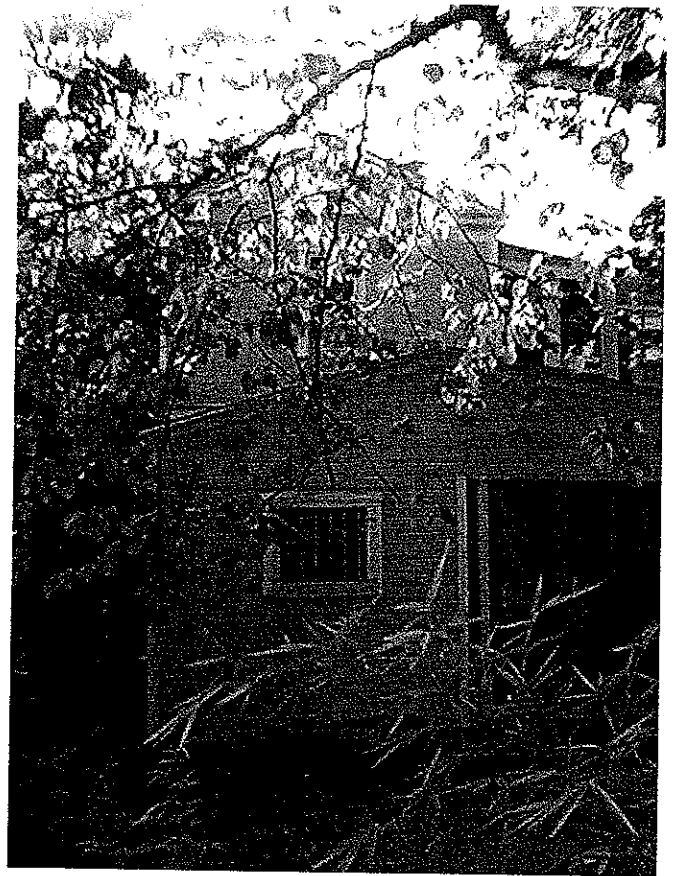
Front View



Left Front Corner View



Rear View



Rear View



Right Side View

HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 11

HDRC CASE NO: 2006-313

IDENTIFIER:

ADDRESS: South Texas Medical Center

LEGAL DESCRIPTION:

ZONING:

PUBLIC PROPERTY: Public ROW

COUNCIL DISTRICT: 8

DISTRICT:

LANDMARK:

APPLICANT: Rilatio Studio - Kenneth Fowler

OWNER: City of San Antonio / Medical Center Alliance

TYPE OF WORK: Directional Signage

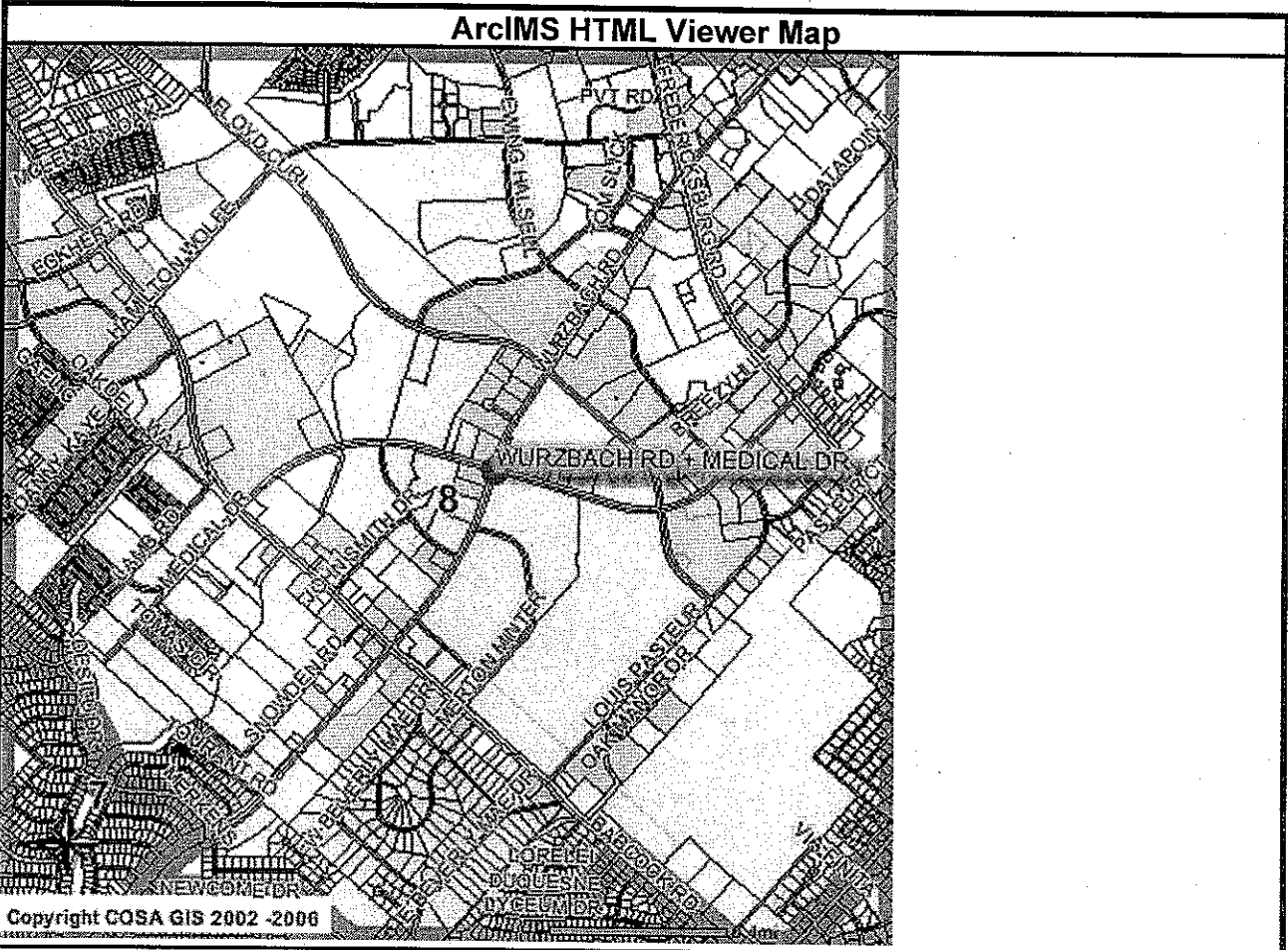
REQUEST:

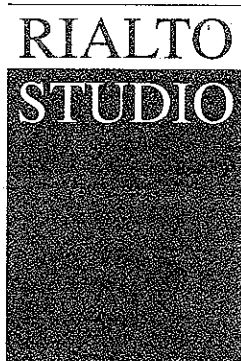
The applicant is requesting a Certificate of Appropriateness for Final Approval to: install new "Stop" signs and street name carriers to match other graphic and signage carriers in the South Texas Medical Center. The accompanying exhibits provide additional information.

RECOMMENDATION:

The staff recommends approval of this request as submitted. The proposed signage is a an on-going series of projects to improve selected intersections within the South Texas Medical Center. The signs are architecturally and esthetically appropriate for their setting and will have no adverse effects on the property.

CASE COMMENTS:





20 September 2006

MEMORANDUM

To: City of San Antonio: Historic and Design Review Commission

From: Kenneth Fowler

Re: **South Texas Medical Center
Secondary Intersections Signage
(Original STMC Application: HDRC No. 2003-300, for
Phase One Improvements in STMC)**

The signage in the referenced submittal is the latest in an ongoing series of projects to improve selected intersections within the South Texas Medical Center. All previous applications to HDRC dealt with new traffic signalization and wayfinding graphics components of the STMC project, designed for large, high-volume intersections there. This submittal addresses the secondary, non-signalized intersections within STMC, those that will not receive new traffic signals or wayfinding graphics. There are eight such intersections.

The intersection improvements, and graphic and signage recommendations for the medical center, are derived from a Master Plan completed by this office in September 2000, for the Medical Center Alliance. The Master Plan details improvements for traffic and pedestrian circulation, landscape, signage and graphics, and medical center identity. The Medical Center Alliance has partnered with the City of San Antonio to fund and construct these physical improvements. So far, improvements to five major intersections and corresponding installation of a series of wayfinding signs are complete. Construction is scheduled to begin this fall on two more intersections, comprising Phase Three of the project.

The design of the signals, graphics, and signage elements remains (and will remain) unchanged for the duration of the project, for reason of branding and visual continuity. For the non-signalized intersections, this application

Rialto Studio, Inc.
Landscape Architecture

2425 Broadway, Suite 105
San Antonio, Texas 78215

p. 210.828.1155
f. 210.828.1399

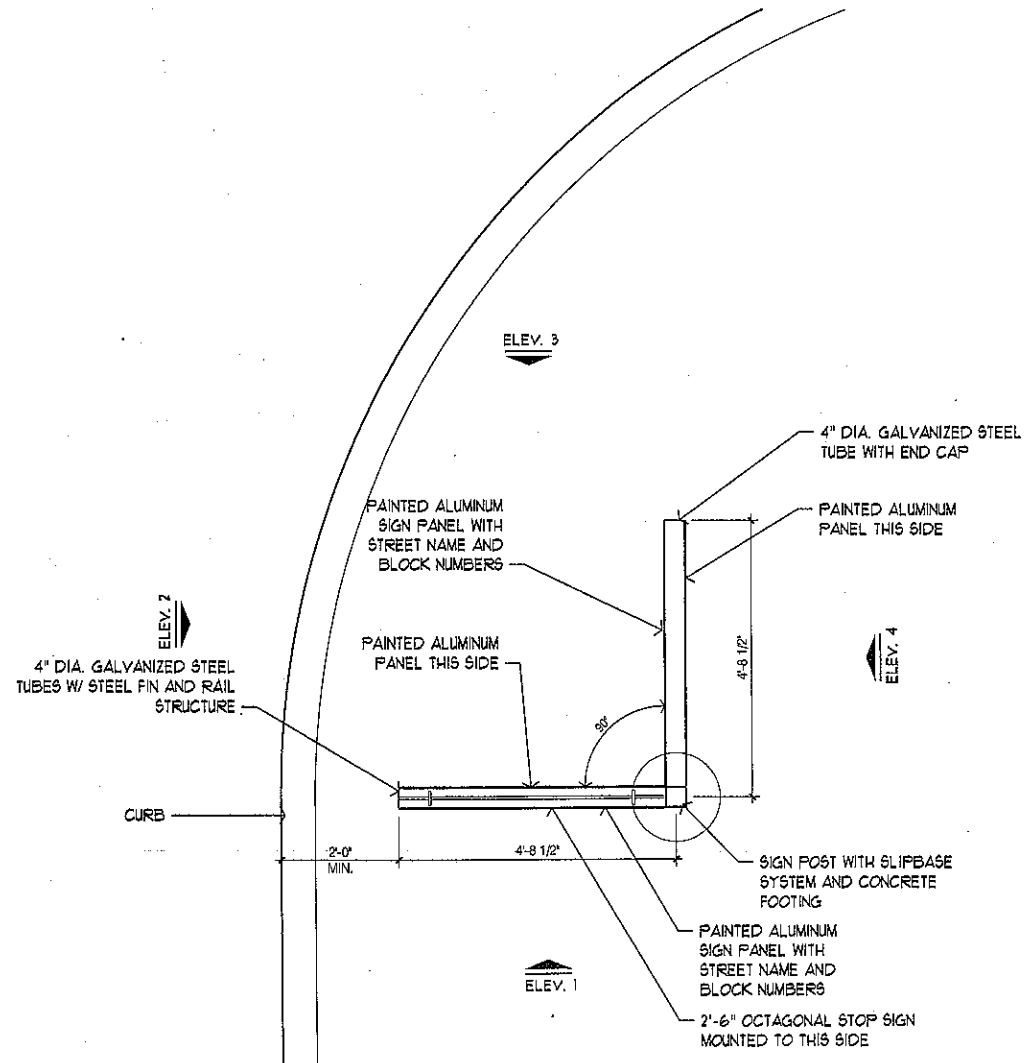
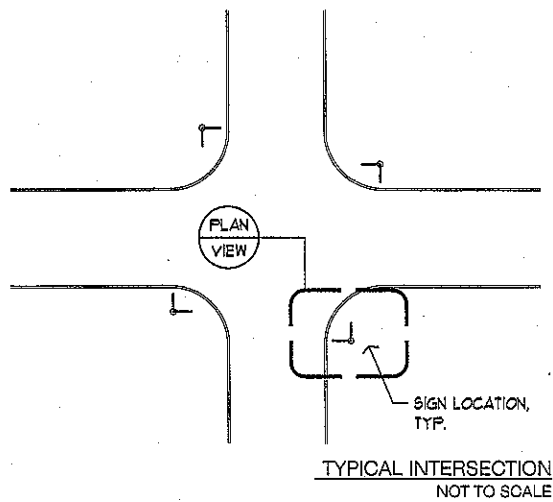
proposes a unique carrier element for the STOP signs required to regulate traffic at these locations. Because of the importance of the branding and visual continuity to the overall project, this element is designed with the same materials and colors, and conveys the same look of the larger elements.

The new traffic STOP signs will be mounted to a grillwork of metal tubes, themselves sandwiched between two horizontal mast arms. The pole, arms, and grill work are all galvanized steel, to reduce maintenance and to provide a contrast for the use of color in the signage elements. Rectangular color panels are affixed to the top and bottom arms. The top panel carries the required street name and block numbers; the bottom panel is blank. The regulation-sizes STOP sign is mounted to the field of horizontal grill work, at prescribed height above the ground, and faces oncoming traffic. At 90 degrees to this, a separate, single panel carries the name and block numbers of the cross street. Please refer to the accompanying drawings.

Installation of the new STOP sign carriers will, in addition to promoting traffic and pedestrian safety, continue the application of fresh urban design details and visual organization to the medical center.

In summary, the application seeks HDRC Final Approval of this new component of the continuing implementation of improvements being effected at the South Texas Medical Center. Please contact Kenneth Fowler of Rialto Studio with any questions concerning this application.

Kenneth Fowler, Principal
Rialto Studio
210.828.1155 voice
210.828.1399 fax
kfowler@rialtostudio.com



PLAN VIEW
SCALE: 1/2" = 1'-0"

RIALTO
STUDIO

Rialto Studio, Inc.
Landscape Architecture
2435 Broadway, Suite 100
San Antonio, Texas 78215
P: 214.525.1100
F: 214.525.3299



STREET SIGN AND STOP SIGN

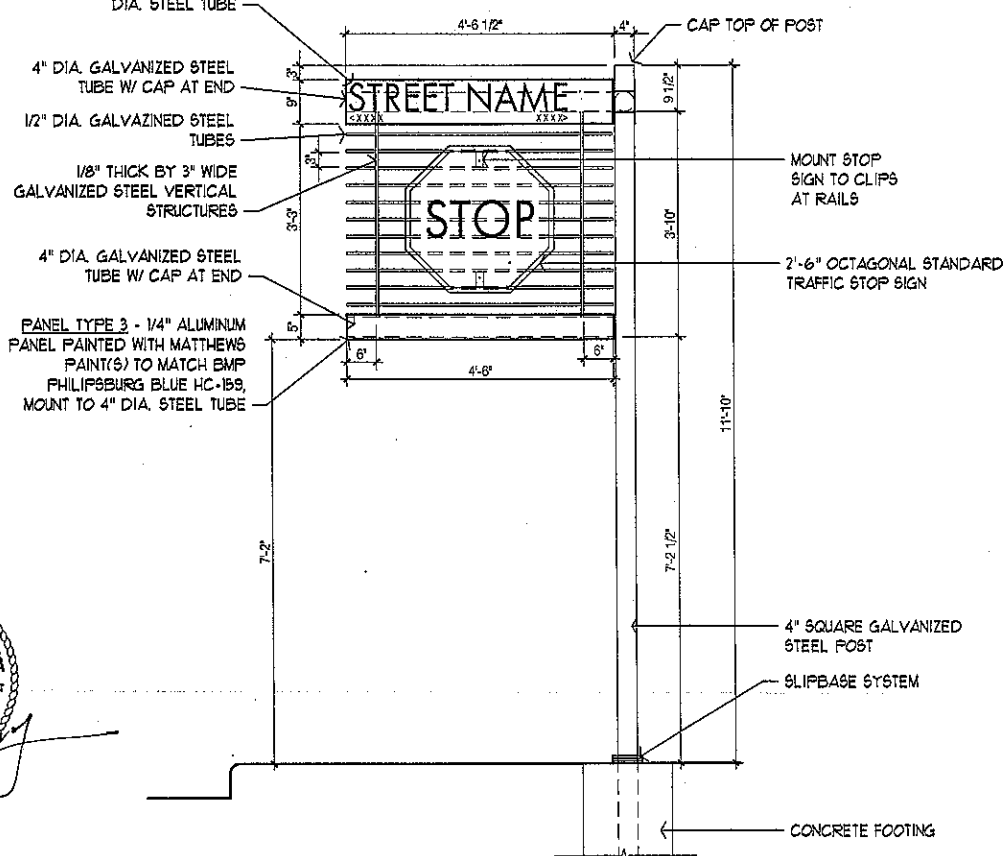
SOUTH TEXAS MEDICAL CENTER INTERSECTION IMPROVEMENTS

PLAN

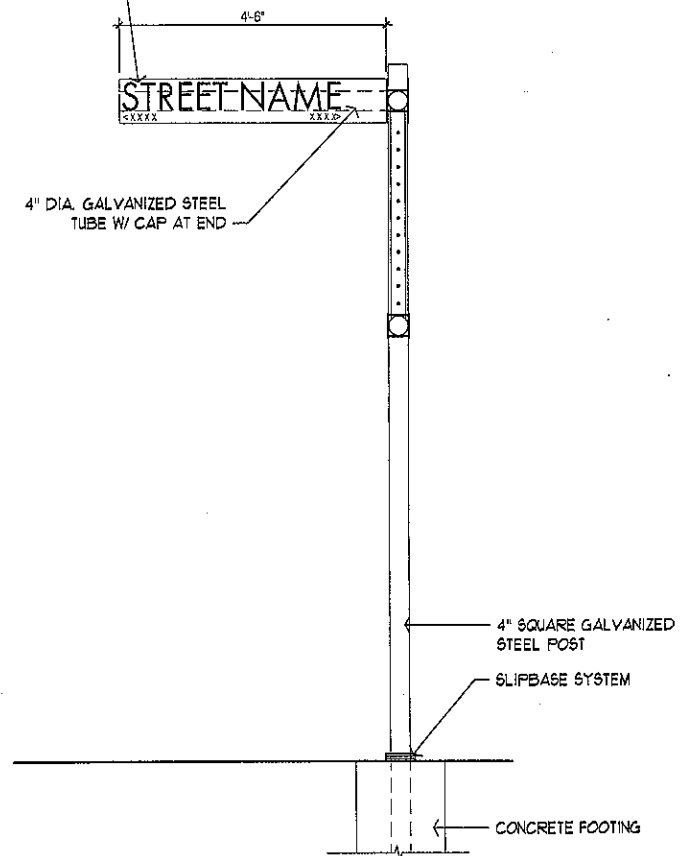
31 AUGUST 2006

PANEL TYPE 1 - 1/4" ALUMINUM SIGN PANEL
PAINTED WITH MATTHEWS PAINT(S) TO MATCH
BMP PHILIPSBURG BLUE HC-159 WITH APPLIED
WHITE REFLECTIVE HI GRADE VINYL TEXT
(FONT: FUTURA MEDIUM), MOUNT PANEL TO 4"
DIA. STEEL TUBE

PANEL TYPE 1 - 1/4" ALUMINUM SIGN PANEL
PAINTED WITH MATTHEWS PAINT(S) TO MATCH
BMP PHILIPSBURG BLUE HC-159 WITH APPLIED
WHITE REFLECTIVE HI GRADE VINYL TEXT (FONT:
FUTURA MEDIUM), MOUNT PANEL TO 4" DIA. STEEL
TUBE



ELEVATION 1
SCALE: 1/2" = 1'-0"



ELEVATION 2
SCALE: 1/2" = 1'-0"



RIALTO
STUDIO

Rialto Studio, Inc.
Landscape Architecture
2003 Broadway, Suite 105
San Antonio, Texas 78205
P: 210.683.1136
F: 210.683.1189

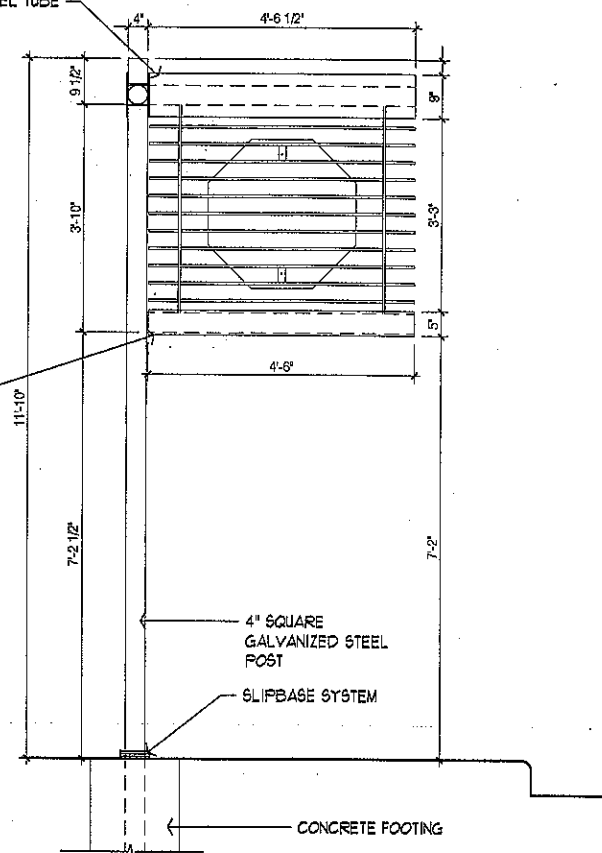
STREET SIGN AND STOP SIGN

SOUTH TEXAS MEDICAL CENTER INTERSECTION IMPROVEMENTS

ELEVATIONS
31 AUGUST 2006

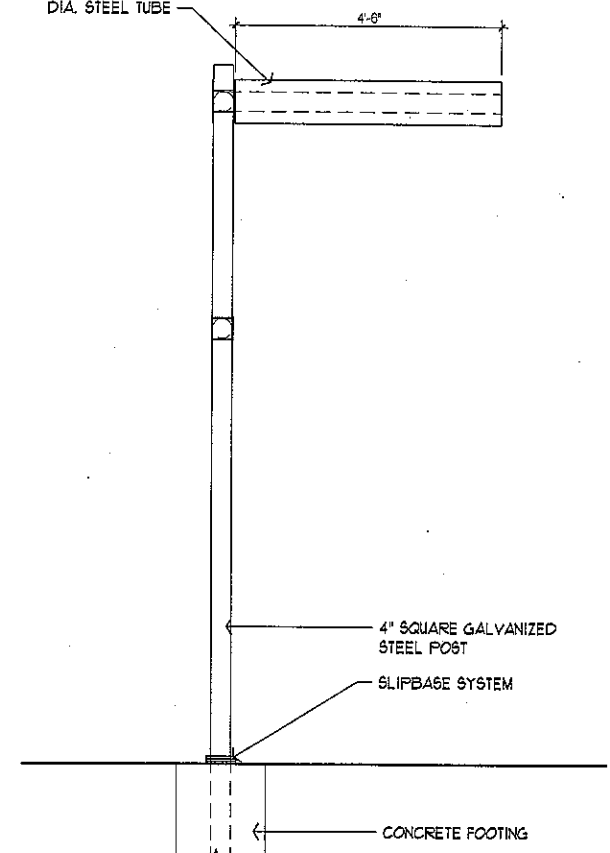
PANEL TYPE 2 - 1/4" ALUMINUM PANEL PAINTED
WITH MATTHEWS PAINT(S) TO MATCH BMP
PHILIPSBURG BLUE HC-159, MOUNT PANEL TO 4"
DIA. STEEL TUBE

PANEL TYPE 3 - 1/4" ALUMINUM
PANEL PAINTED WITH MATTHEWS
PAINT(S) TO MATCH BMP
PHILIPSBURG BLUE HC-159,
MOUNT TO 4" DIA. STEEL TUBE



ELEVATION 3
SCALE: 1/2" = 1'-0"

PANEL TYPE 1 - 1/4" ALUMINUM PANEL PAINTED
WITH MATTHEWS PAINT(S) TO MATCH BMP
PHILIPSBURG BLUE HC-159, MOUNT PANEL TO 4"
DIA. STEEL TUBE



ELEVATION 4
SCALE: 1/2" = 1'-0"



Handwritten signature: KENNETH H. FOWLER
Handwritten date: 2/28/2006

**RIALTO
STUDIO**

Rialto Studio, Inc.
Landscape Architecture
3425 Broadway, Suite 100
San Antonio, Texas 78209
P: 210.224.1155
F: 210.224.1200

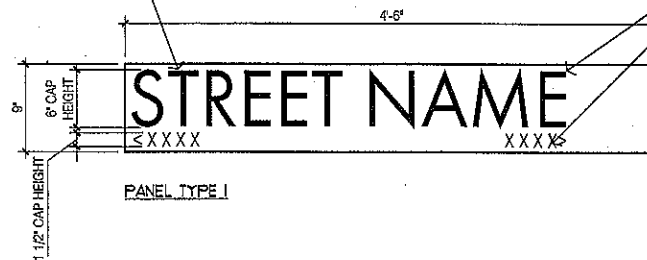
STREET SIGN AND STOP SIGN

SOUTH TEXAS MEDICAL CENTER INTERSECTION IMPROVEMENTS

ELEVATIONS

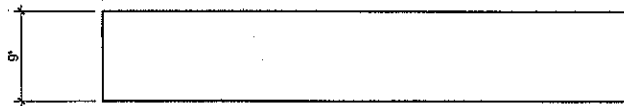
31 AUGUST 2006

STREET NAME AND BLOCK
NUMBER FONT, FUTURA
MEDIUM, TEXT TO BE LEFT
JUSTIFIED

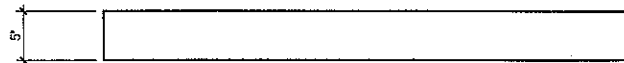


LETTERS AND BLOCK
NUMBERS TO BE APPLIED
WHITE REFLECTIVE HI GRADE
VINYL

1/4" THICK ALUMINUM PANEL
PAINTED WITH MATTHEWS
PAINT(S) TO MATCH BMP
PHILIBSBURG BLUE HC-159



1/4" THICK ALUMINUM PANEL
PAINTED WITH MATTHEWS
PAINT(S) TO MATCH BMP
PHILIBSBURG BLUE HC-159



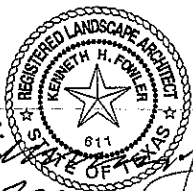
1/4" THICK ALUMINUM PANEL
PAINTED WITH MATTHEWS
PAINT(S) TO MATCH BMP
PHILIBSBURG BLUE HC-159

PANEL TYPE 2

PANEL TYPE 3

ALUMINUM PANELS

SCALE: 1/2" = 1'-0"



RIALTO
STUDIO

Rialto Studio, Inc.
Landscape Architecture
2025 Broadway, Suite 106
San Antonio, Texas 78218
P: 210.822.1180
F: 210.822.1189

STREET SIGN AND STOP SIGN

SOUTH TEXAS MEDICAL CENTER INTERSECTION IMPROVEMENTS

ALUMINUM PANELS

31 AUGUST 2006

HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No:

12

HDRC CASE NO: 2006-314

IDENTIFIER:

ADDRESS: 223 Bushnell

LEGAL DESCRIPTION: NCB 6120 BLK LOT 2 EXC NE 147 FT & S 64.3 FT OF 3

ZONING: "R-5 H" Residential Single Family Historic District

PUBLIC PROPERTY:

COUNCIL DISTRICT: 1

DISTRICT: Monte Vista Historic District

LANDMARK:

APPLICANT: Scot & Tomme Lu Riklin

OWNER: Same

TYPE OF WORK: Fencing

REQUEST:

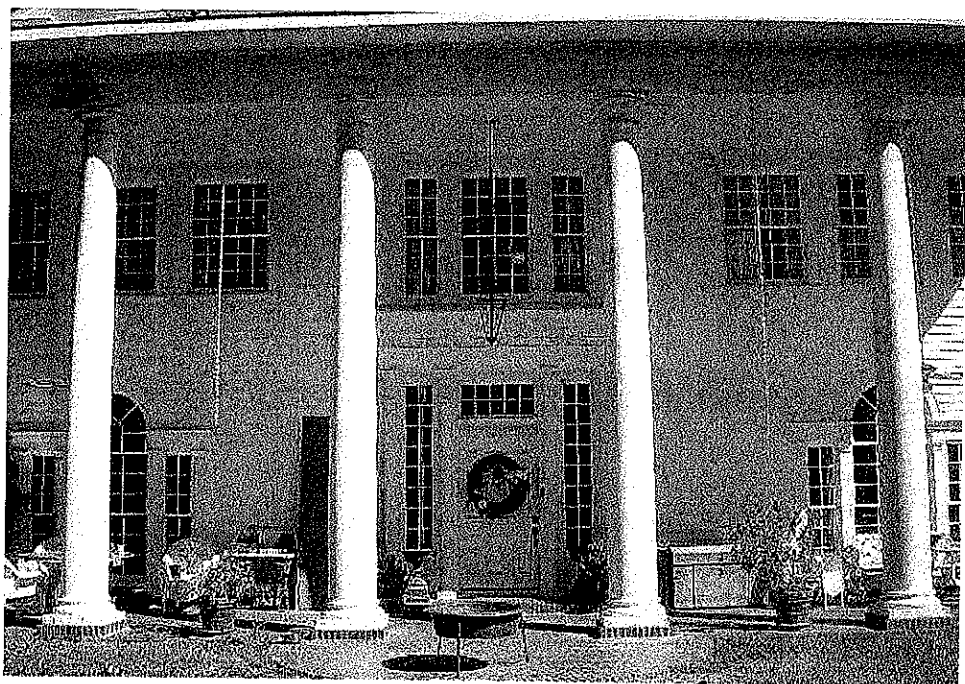
The applicant is requesting a Certificate of Appropriateness for approval to add an 6 foot lattice fence with welded wire backing and an ornamental metal gate at the front of the property. The accompanying exhibits provide additional information.

RECOMMENDATION:

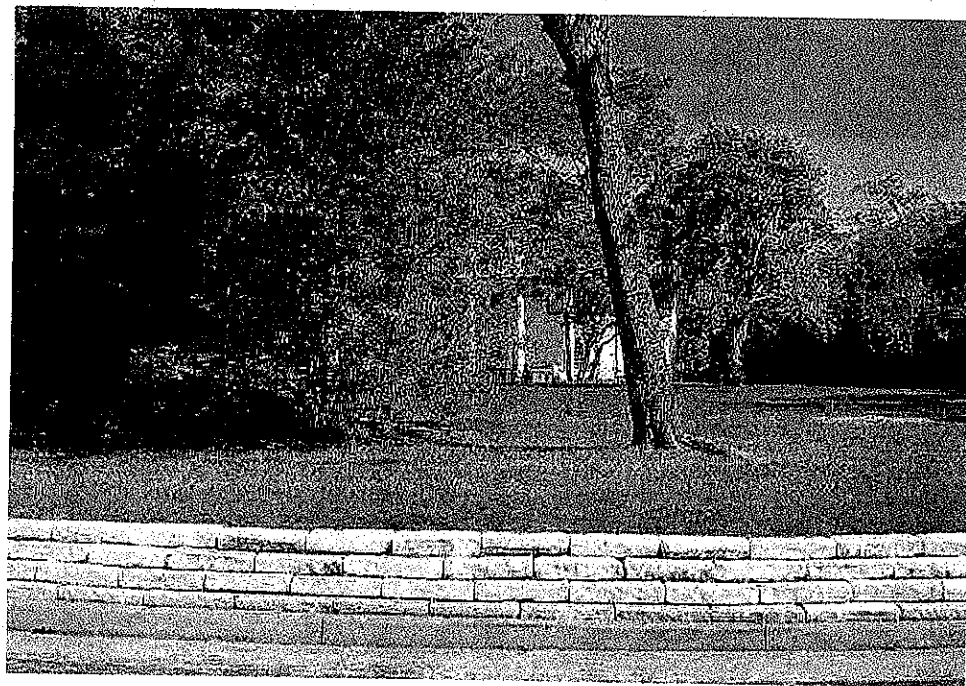
The staff recommends approval of this request as submitted. There are numerous front yard fences and walls on Bushnell in the Monte Vista District. The addition of this fence is architecturally and esthetically appropriate for the setting and will have no adverse effects on the property or the district.

CASE COMMENTS:





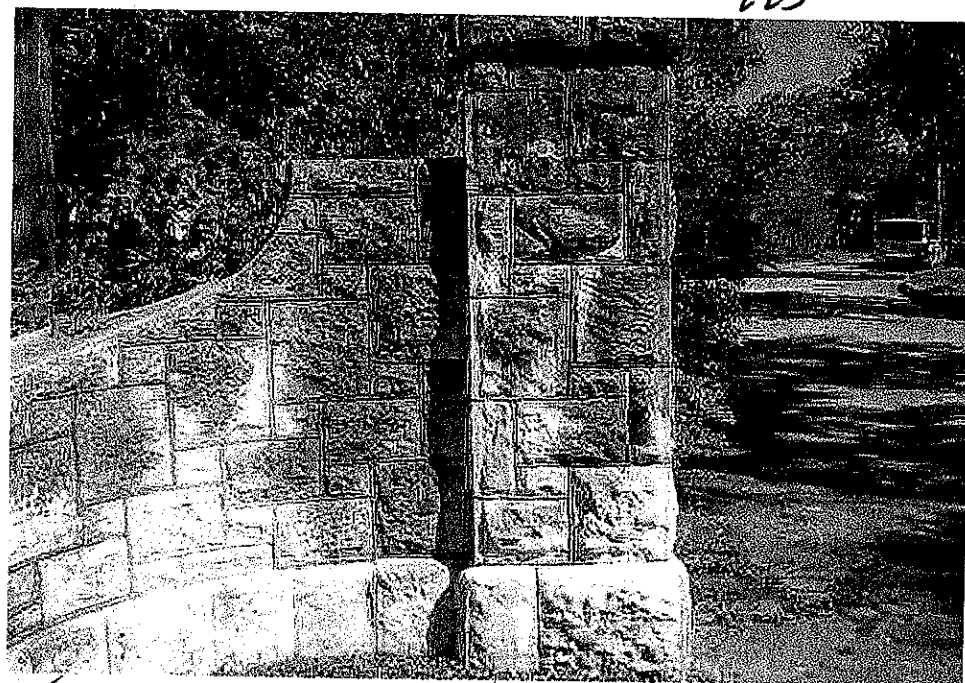
223 BUSHNELL



223



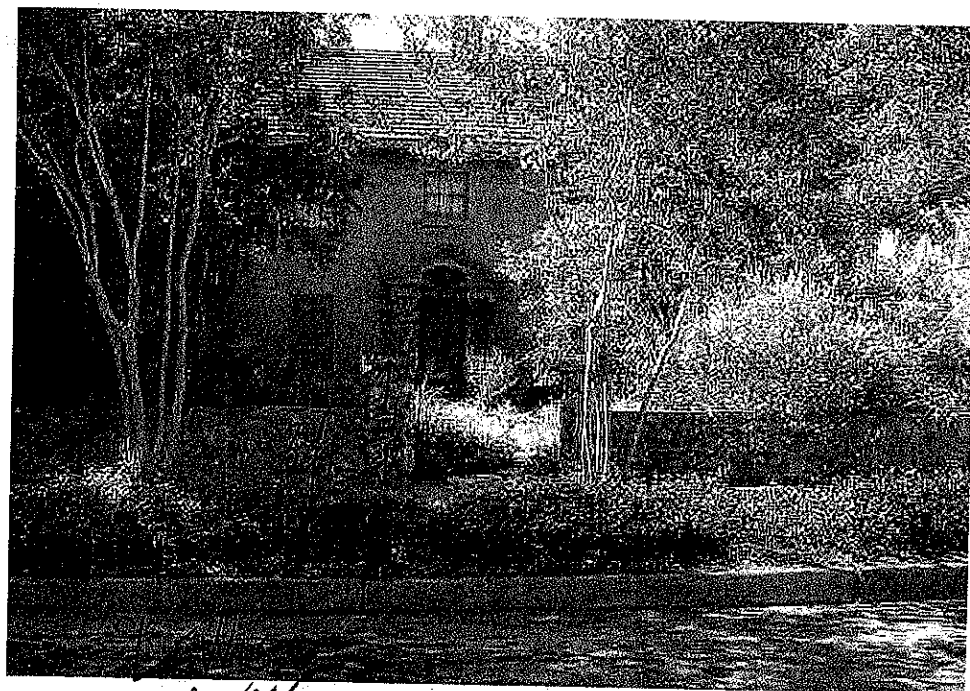
223



JOINS 223 ON EAST LANDA LIBRARY



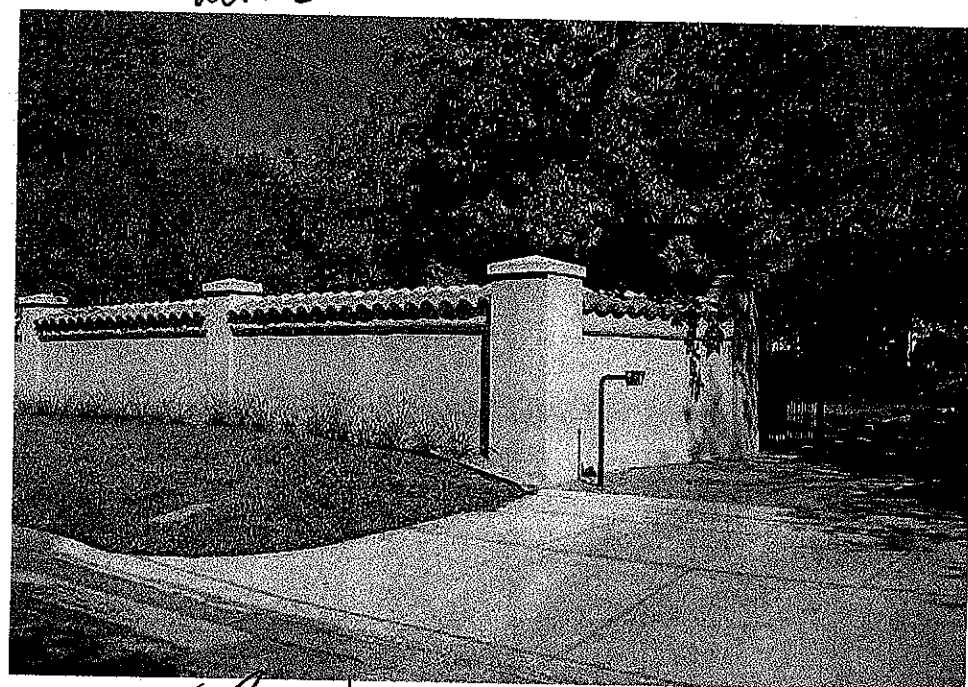
McKINNA
215 BUSHNELL JOINS ON WEST



ACROSS



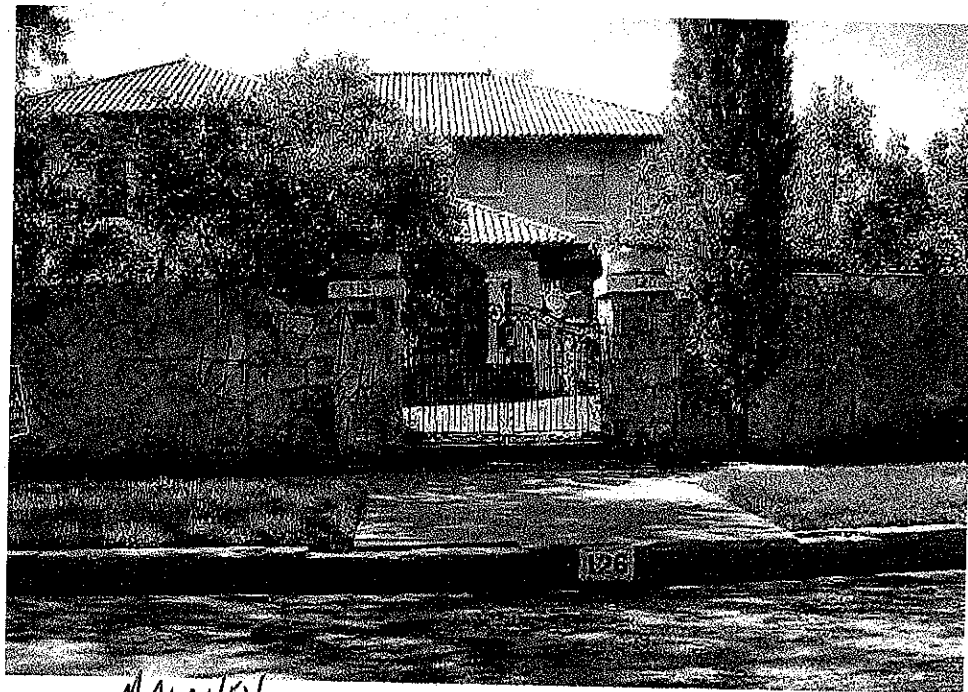
ACROSS



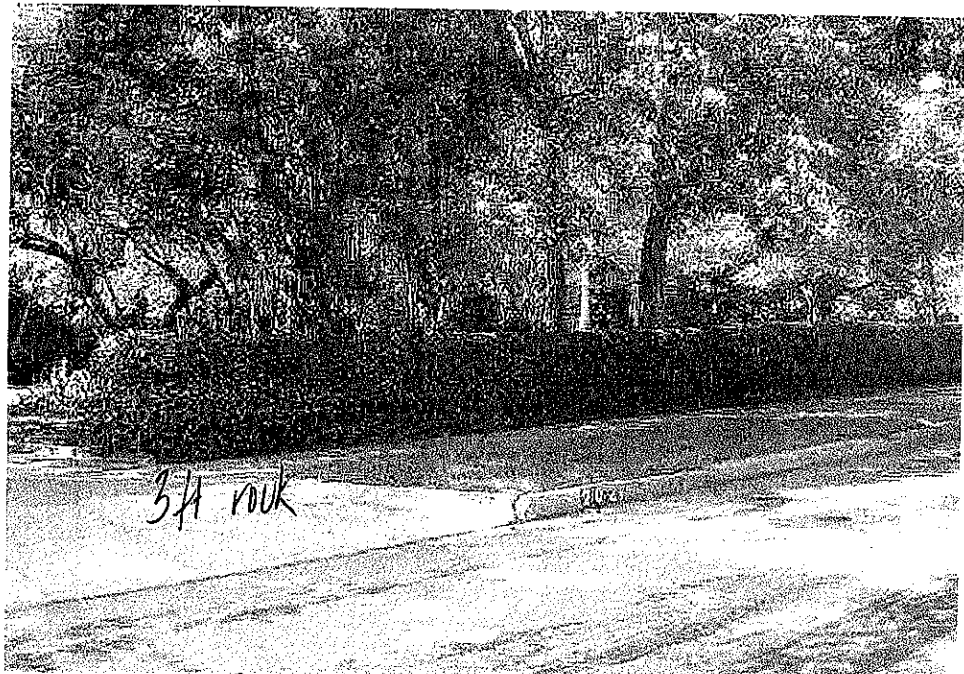
215 BUSHNELL



NEWMAN



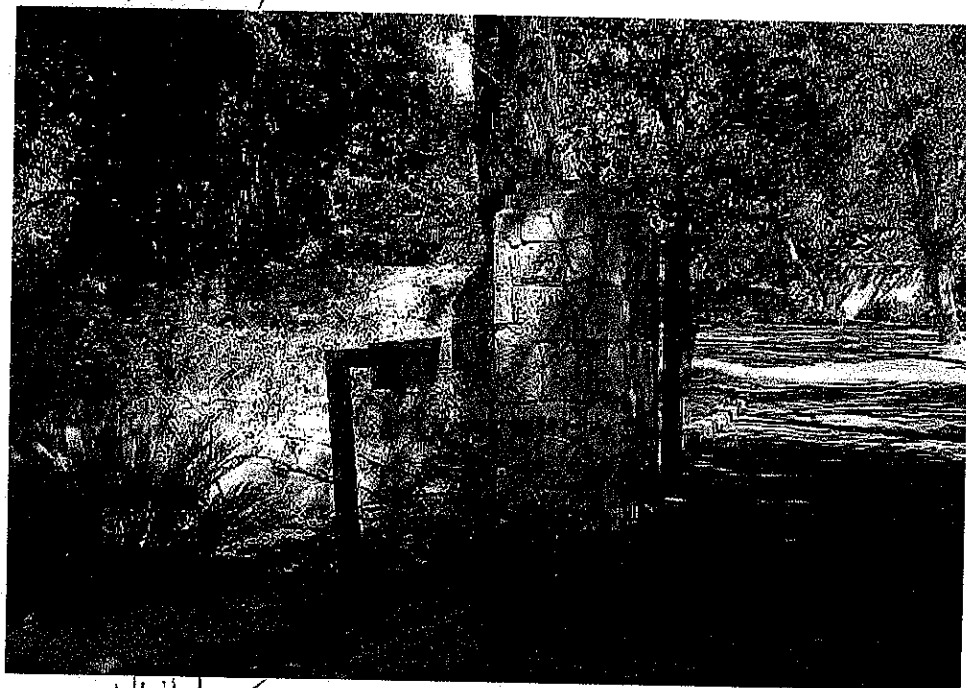
MALONEY



34 ROK

BONNAN-BOWERS

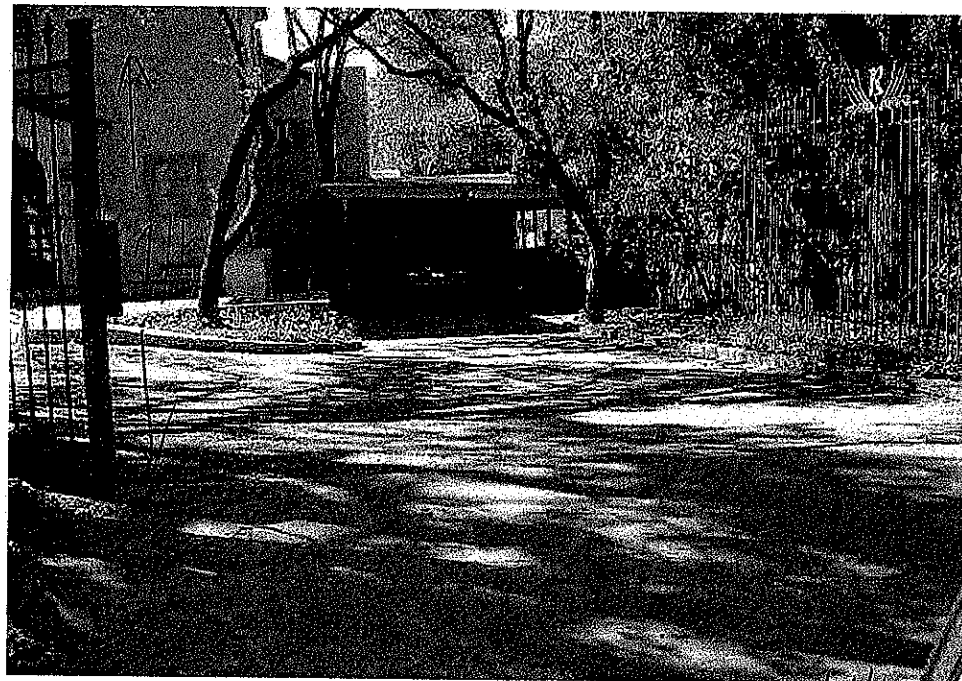
202 BUSHNELL



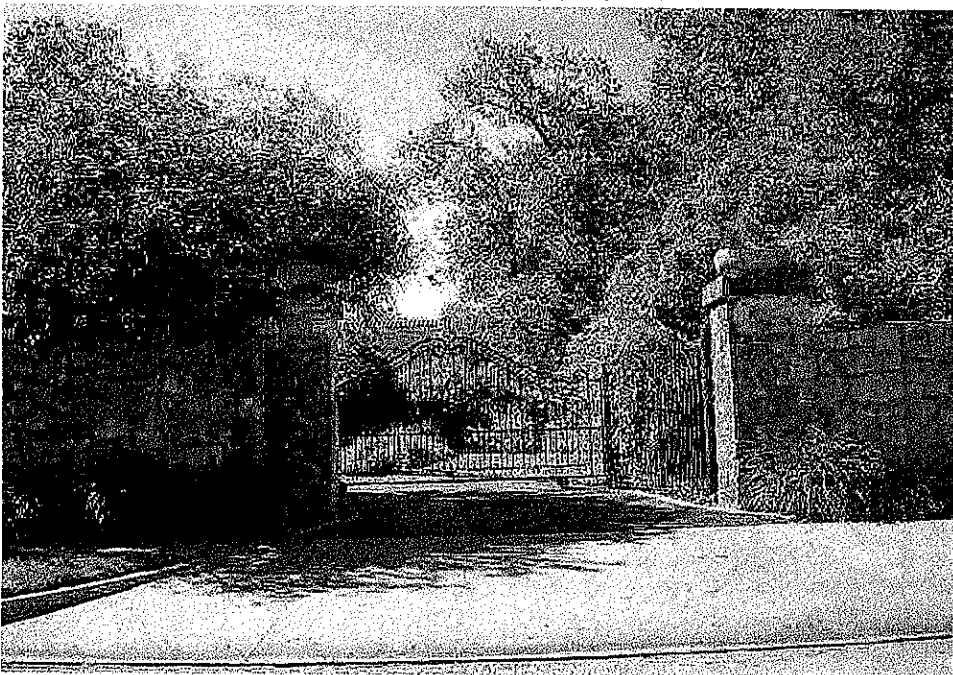
WHITAKER



Laurel Hts

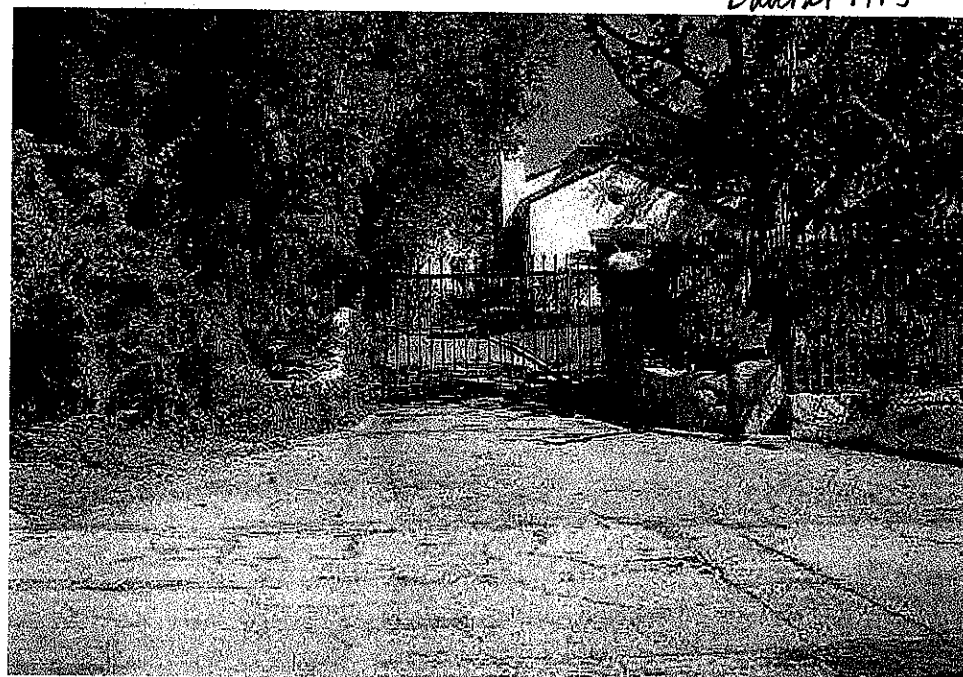


Laurel Hts



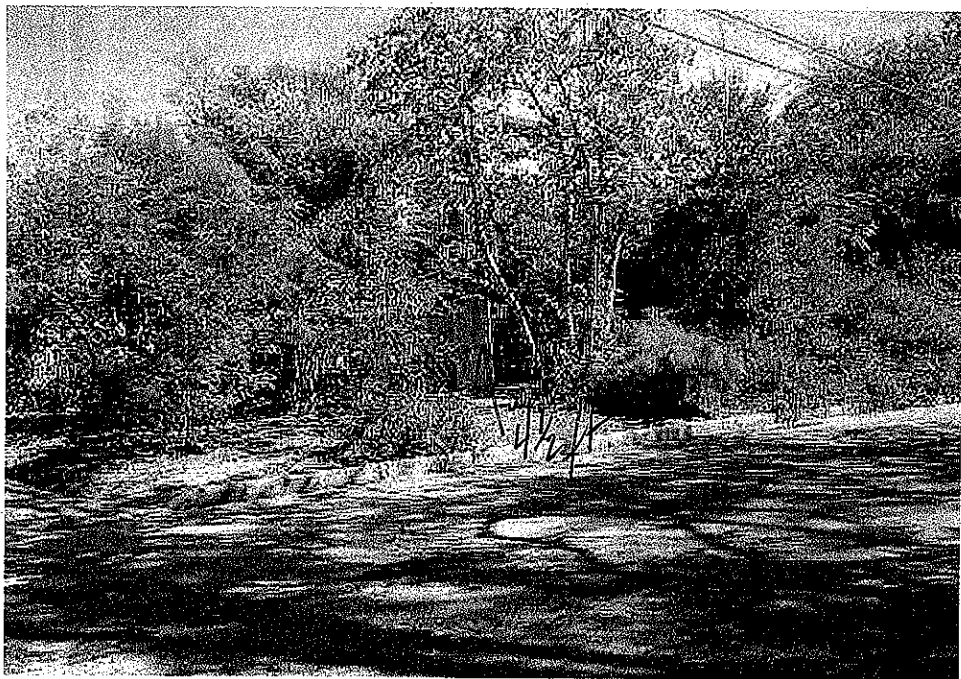
Malmey

Bushnell



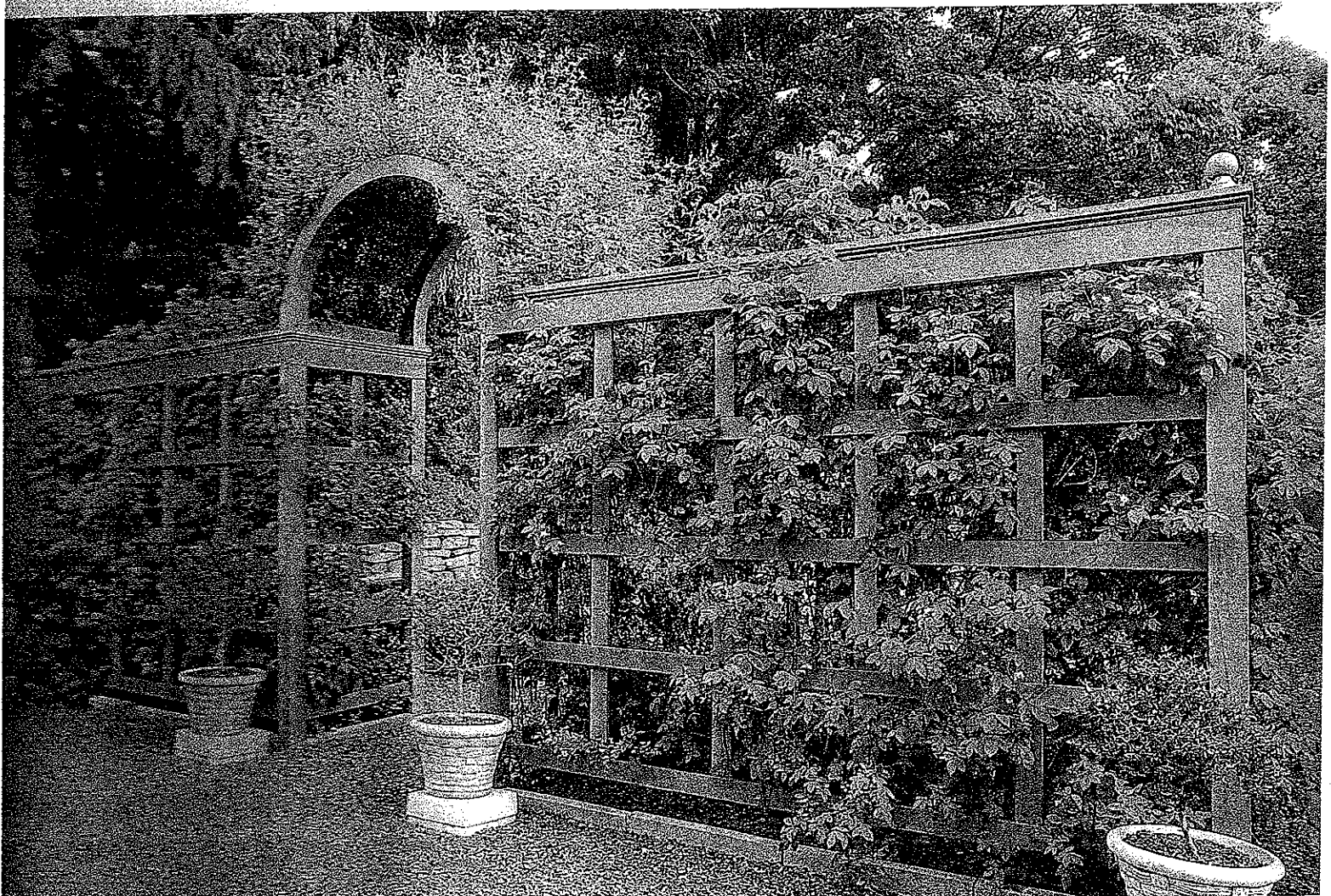
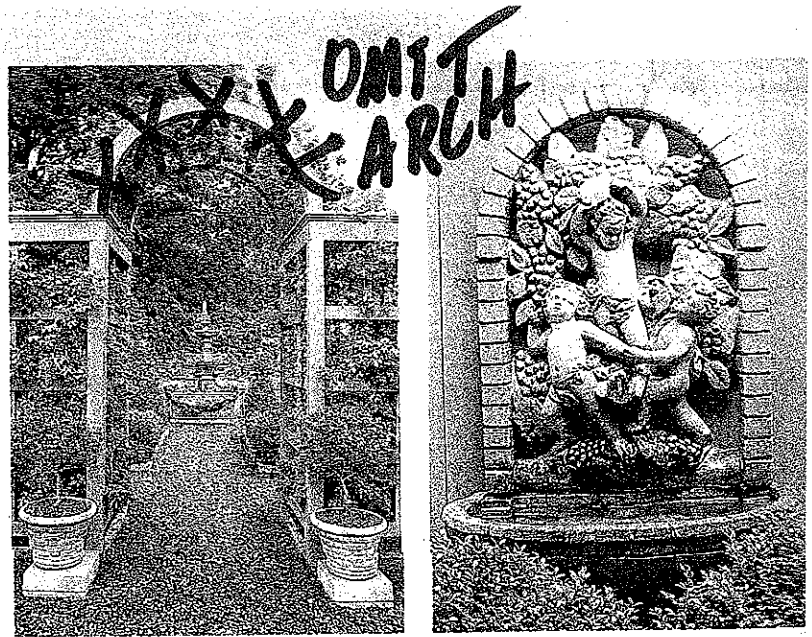
Laurel Hts

left



Wood i Stucco

With its ornate fountain, stone walls, and backdrop of dense evergreens, the topiary garden has a secluded atmosphere for quiet contemplation. It is distinguished by boxwood and juniper trimmed in topiary shapes. Entry to the garden is through a trellised arch flanked by olive-tree standards (near right and below). A climbing apothecary rose (*Rosa gallica officianalis*) adds scent and decoration. The wall fountain, with cherubs and a vineyard motif (far right) is a focal point at the far end of the old grape arbor.



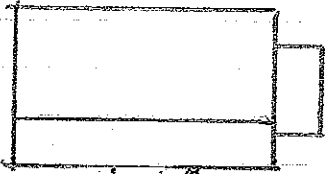


Center of fence

2 DL. Cast IRON GATE 56" W X 99 1/2" H

103'

↑
320' approx

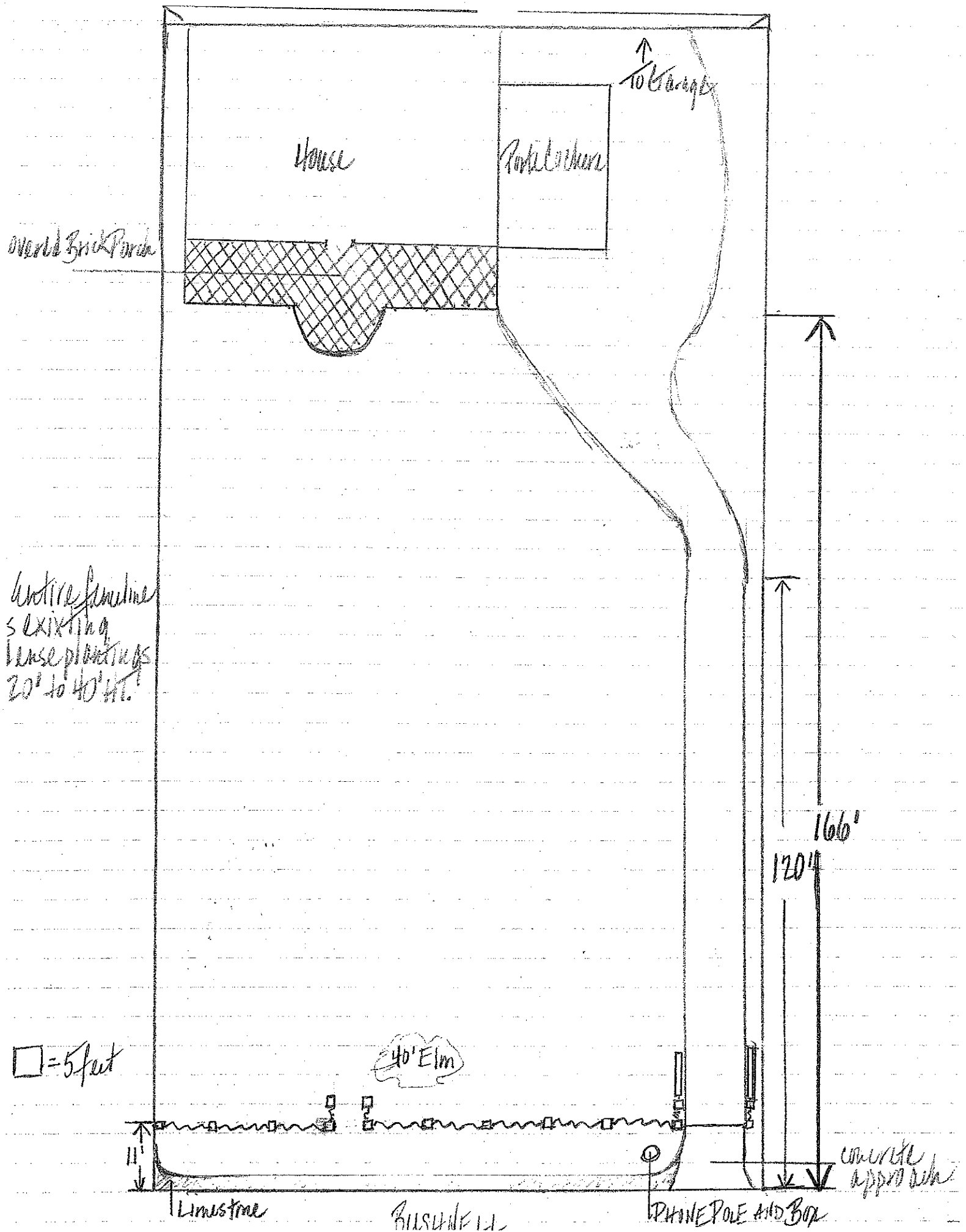


WROUGHT IRON
Gate aligned
with front door

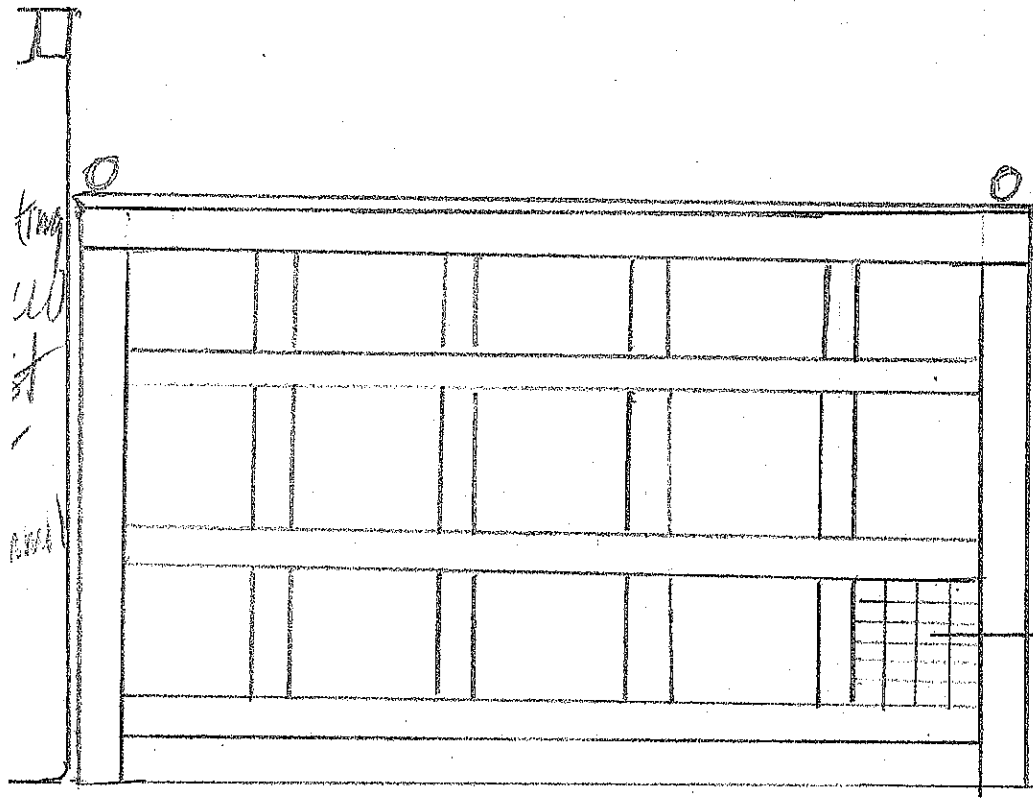


proposed
fence

phone pole



Each fence segment is 6' tall x 10' long except gate section which is 60" x 87".
 Supports are 6"x6" cedar post with 1"x4" strip in a grid pattern.
 Upper most cross piece will have a cap of another larger board.
 Each post will have a finial.



Wire grid fencing installed behind
 wooden trellis to ht. of 4' to confine
 animals & to let foliage grow through

□ = .5'

INDIVIDUAL CONSIDERATION

HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 13

HDRC CASE NO: 2006-303

IDENTIFIER:

ADDRESS: 3714 Broadway

LEGAL DESCRIPTION: NCB 6089 BLK 1 LOT 20 THRU 23

ZONING: "C-2 RIO-1" Commercial RIO-1 District

PUBLIC PROPERTY:

COUNCIL DISTRICT: 9

DISTRICT: RIO-1

LANDMARK:

APPLICANT: Mario Barrozo

OWNER: Supema Properties

TYPE OF WORK: Signage, Canopy

REQUEST:

The applicant is requesting a Certificate of Appropriateness for Final Approval to:

- 1) Refacing an existing 8 ft. high by 16 ft. wide double faced cabinet sign
- 2) Install a canvas canopy at the entrance that extends to the sidewalk.
- 3) Place a 30 by 18 inch sign at the end of the canopy.

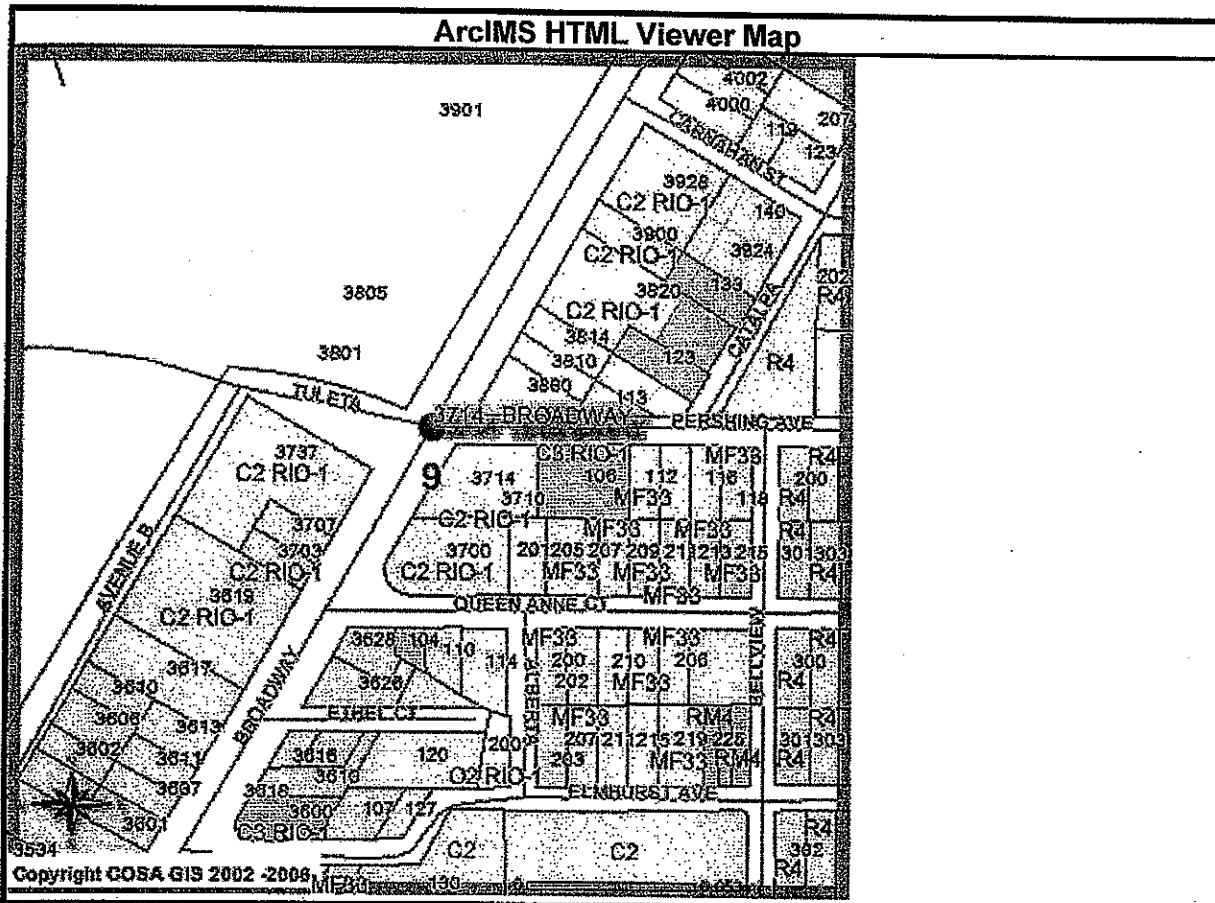
The accompanying exhibits provide additional information.

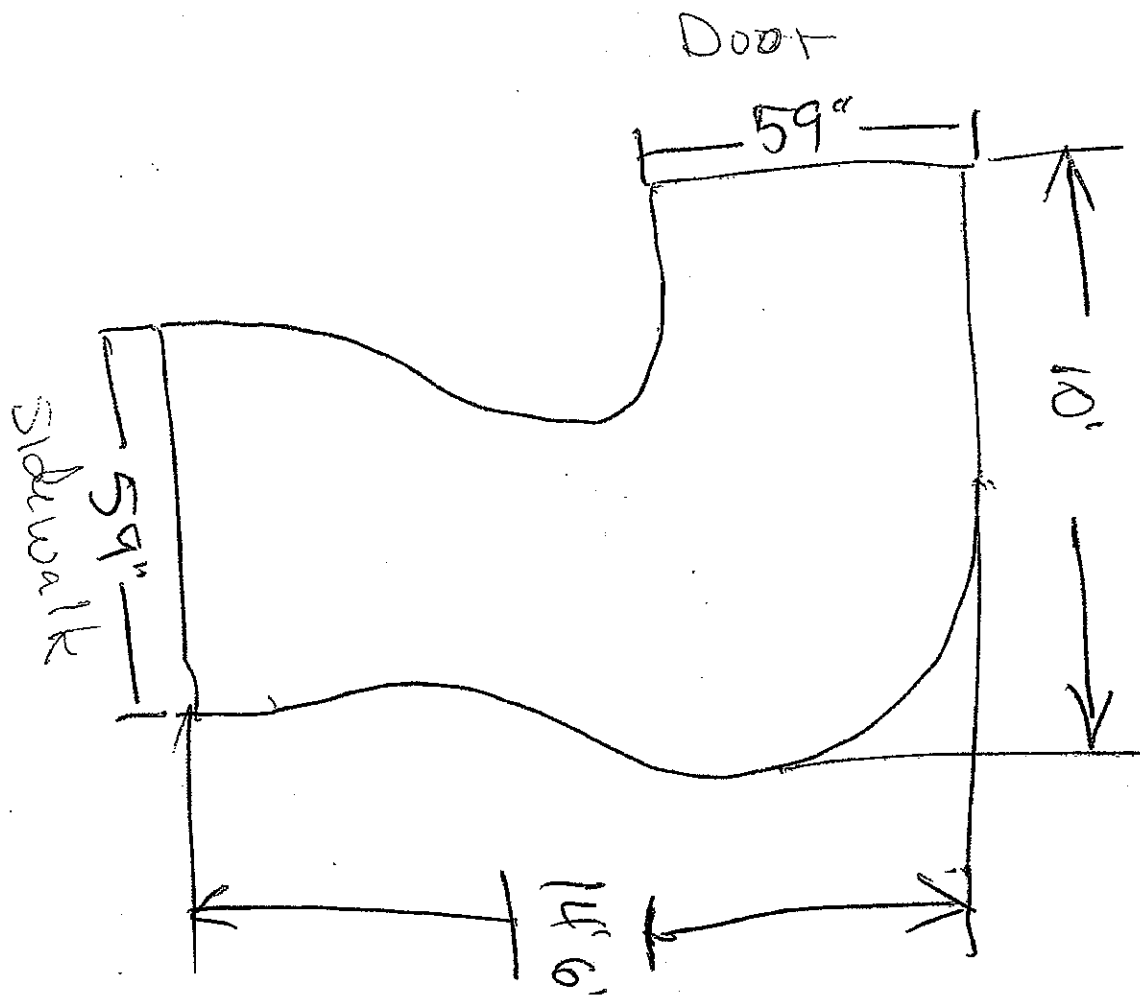
RECOMMENDATION:

Staff recommends removal of a enough signage so that the business comes into compliance with the Unified Development Code RIO district signage requirements.

CASE COMMENTS:

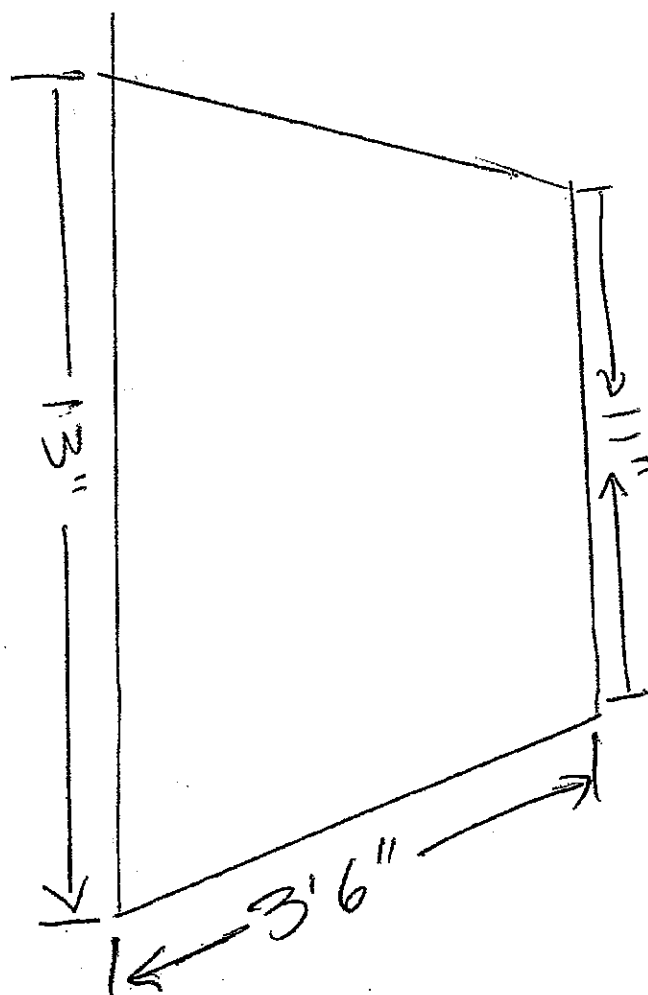
This case was forwarded to the Signage Committee that met on-site on September 29, 2006





4

B

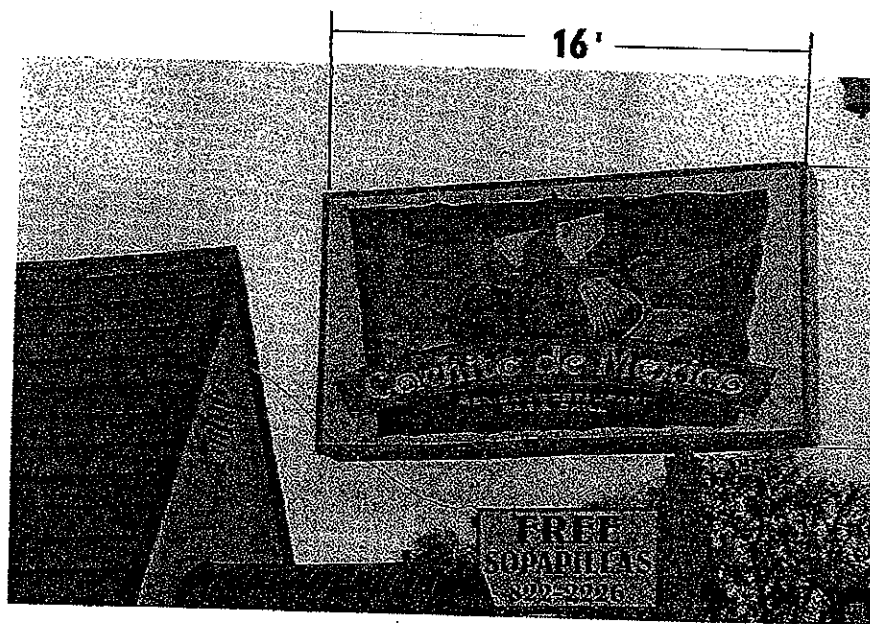




18"

30"

59"

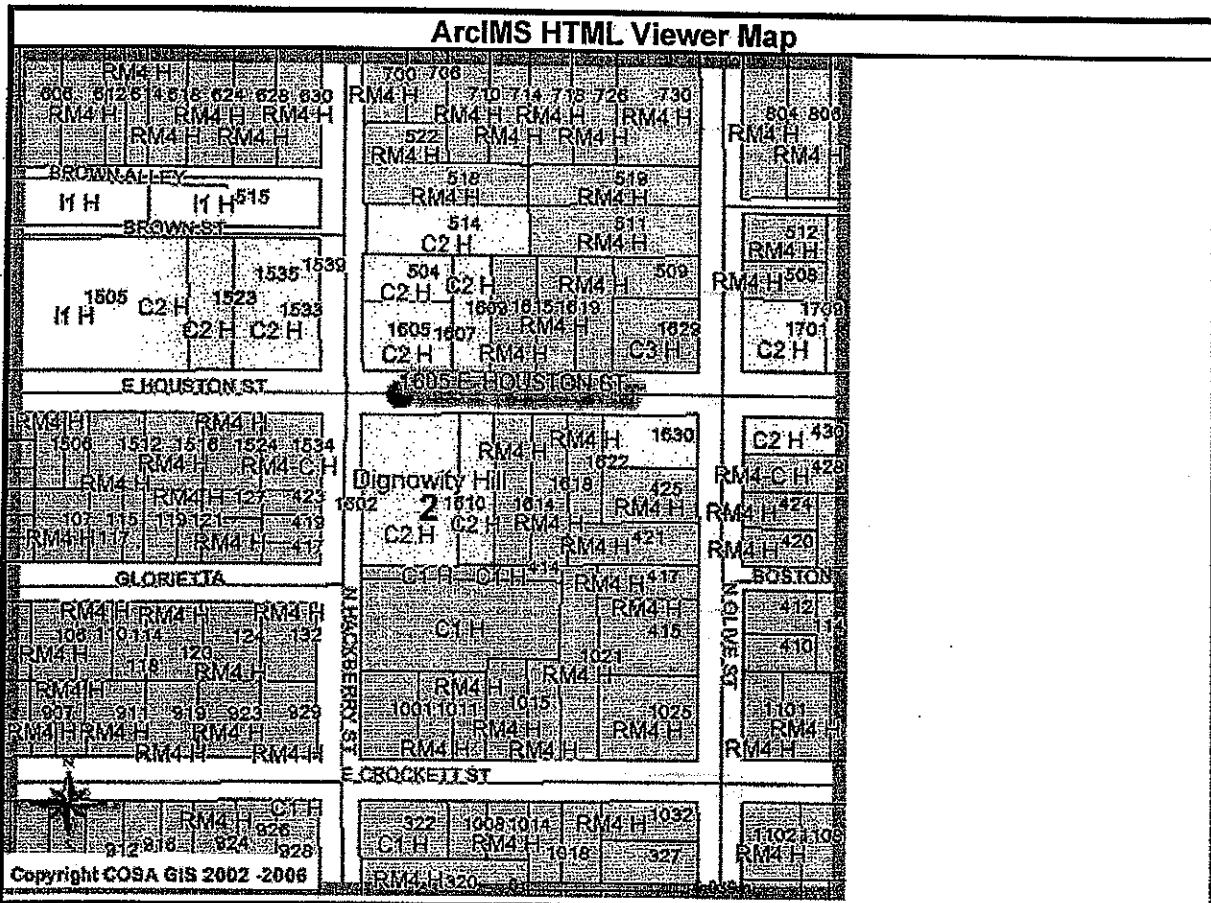


16'

8'







HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 14

HDRC CASE NO: 2006-304

IDENTIFIER:

ADDRESS: 1605 East Houston

LEGAL DESCRIPTION: NCB 570 BLK 6 LOT S 83.95 FT OF 13-14

ZONING: "C-2 H" Commercial Historic District

PUBLIC PROPERTY:

COUNCIL DISTRICT: 2

DISTRICT: Dignowity Hill Historic District

LANDMARK:

APPLICANT: Eugene Coleman, Jr.

OWNER: Same

TYPE OF WORK: Signage

REQUEST:

The applicant is requesting a Certificate of Appropriateness for Final Approval to install a 6 ft by 31 1/4 inch yellow wood with red vinyl lettering multi-tenant sign.

The accompanying exhibits provide additional information.

RECOMMENDATION:

Staff will make recommendations at the October 4th meeting after an on-site review.

CASE COMMENTS:

This case was forwarded to the Signage Committee that met on-site on September 29, 2006

TANK'S CHICKEN & WAFFLES

TEXAS STYLE SOUTHERN COOKING & CATERING

224-0706

Our Beauty Salon

A Full
Service
Salon

Press & Curl Consultants

220-8015

SNAP

NEWS & MARKETING

123-4567

vinyl lettering

31 1/4"

18"

C

BCOIC

\$100'

\$400

\$500

\$2000

\$1000.
\$2000
\$400
\$500

Barber
Shop

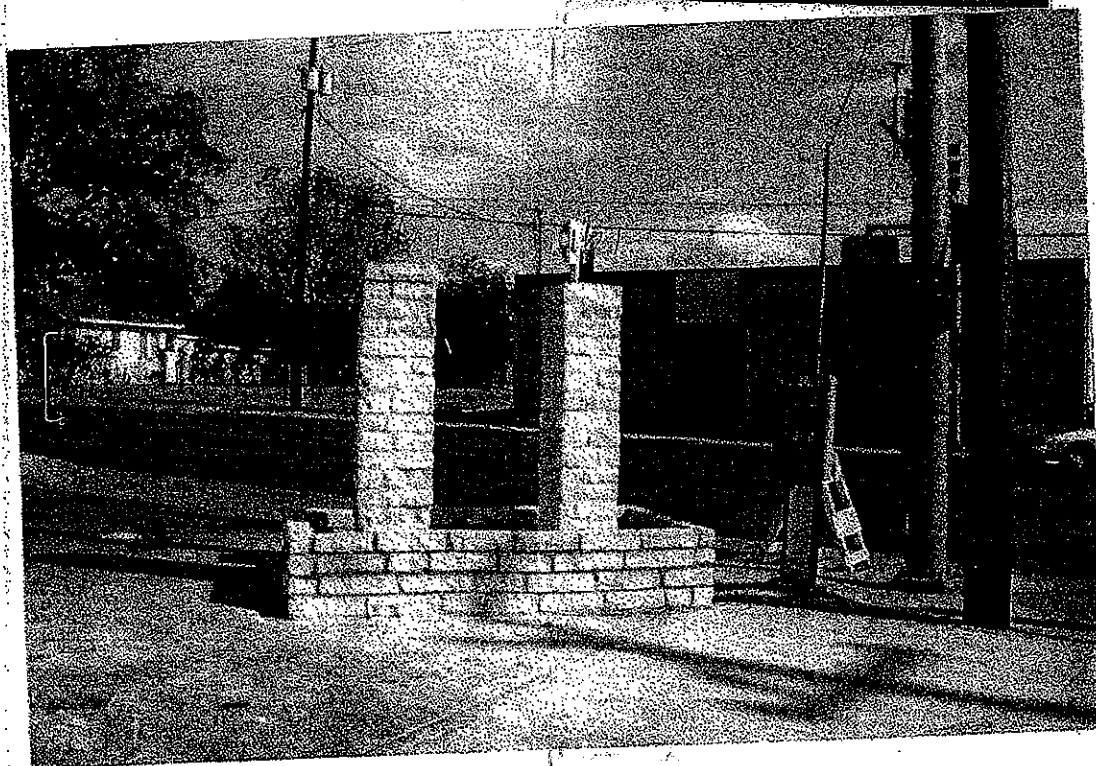
Beauty
Shop

Cafe



E. Houston

Hackberry



1605 E Houston

HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 15

HDRC CASE NO: 2006-250B

IDENTIFIER:

ADDRESS: 431 East Rosewood

LEGAL DESCRIPTION: NCB 6817, Block 0, Lot 4

ZONING:

PUBLIC PROPERTY:

COUNCIL DISTRICT: 1

DISTRICT: Monte Vista Historic District

LANDMARK:

APPLICANT: Joe Stubblefield

OWNER: Paul and Mary Chang

TYPE OF WORK: Garage enclosure

REQUEST:

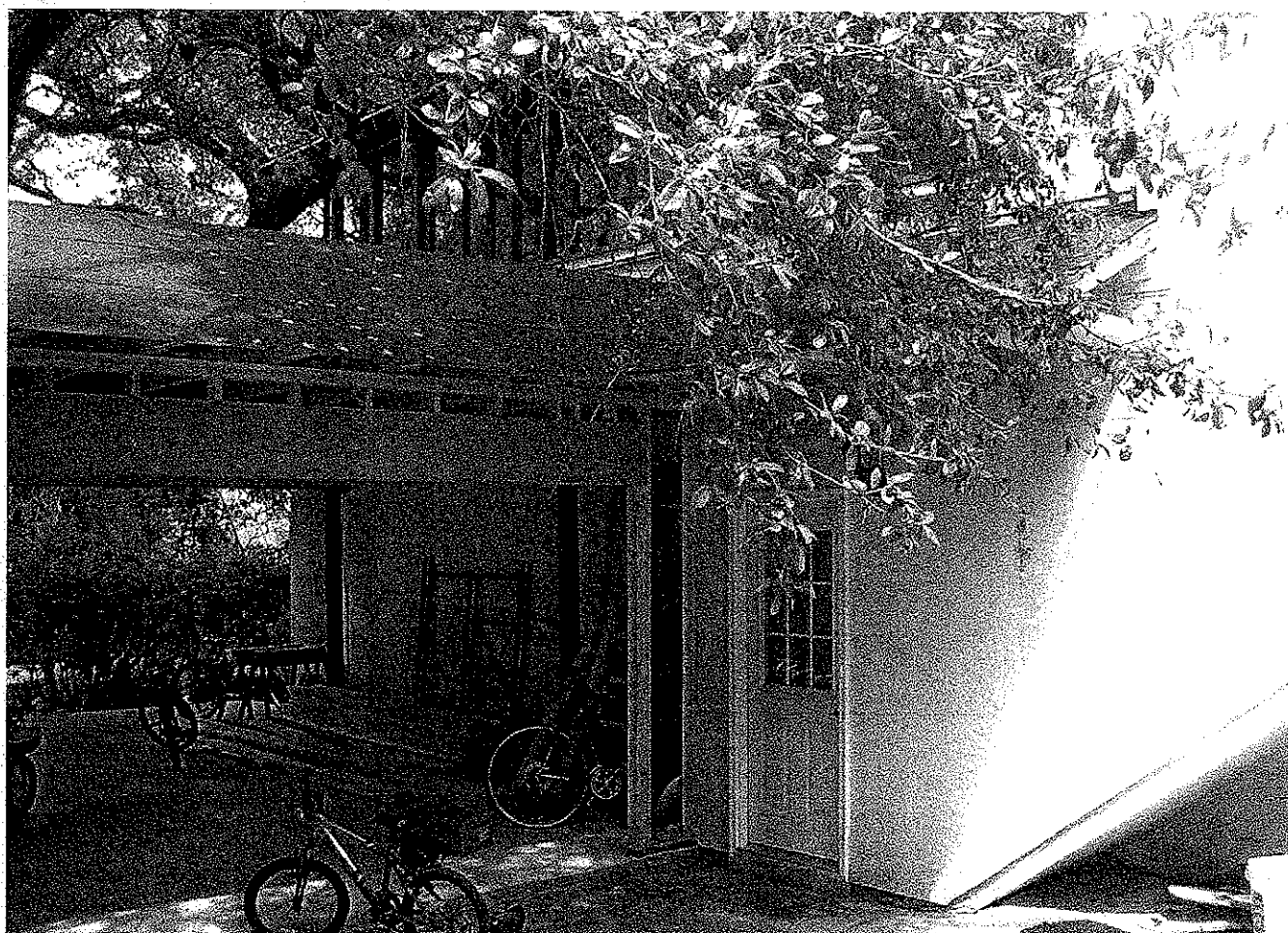
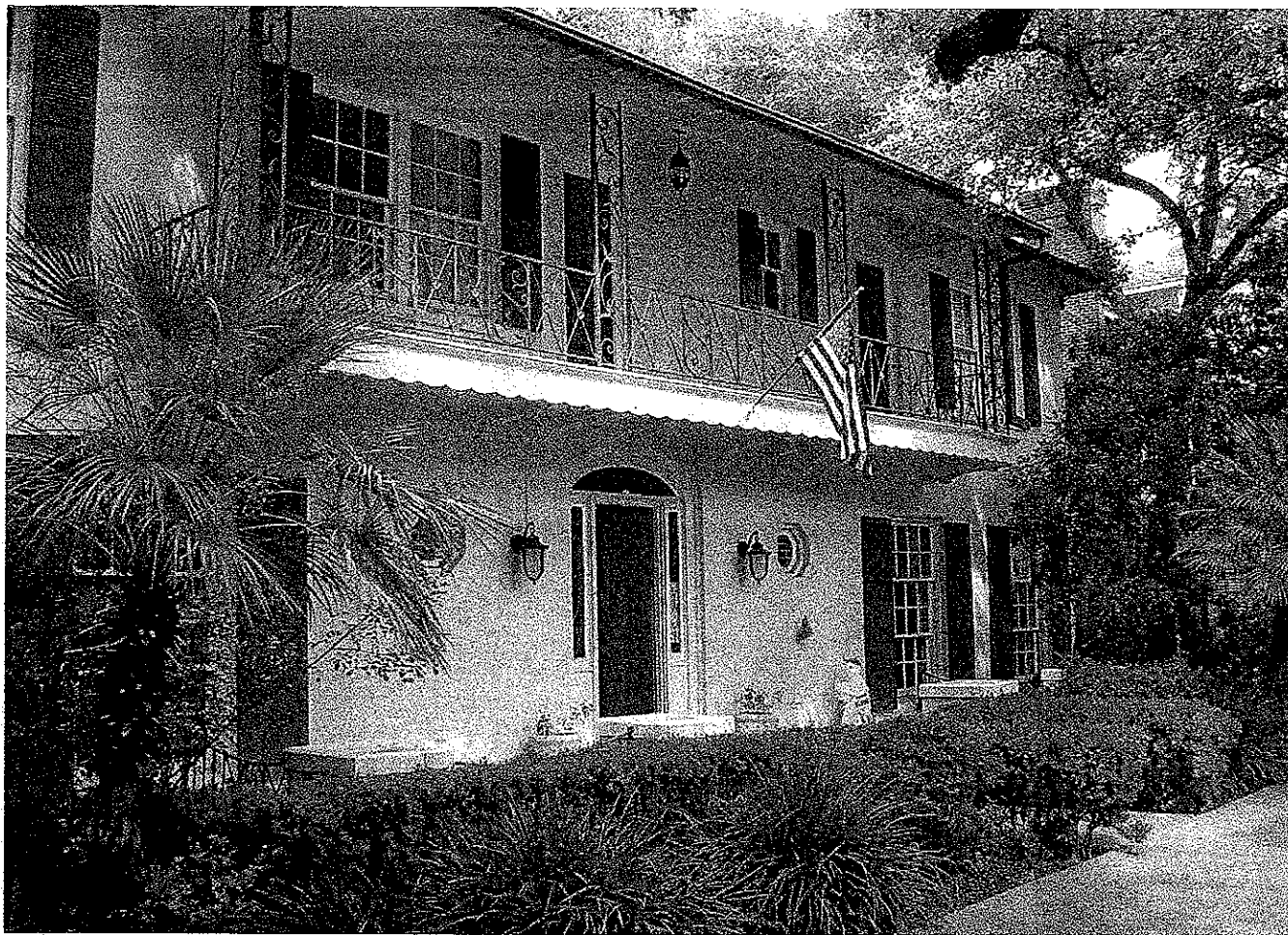
The applicant is requesting a Certificate of Appropriateness for Final Approval to enclose an existing carport to create an attached garage. Materials will include hardiboard siding, standing seam metal roof and a metal garage door.

The accompanying exhibits provide additional information.

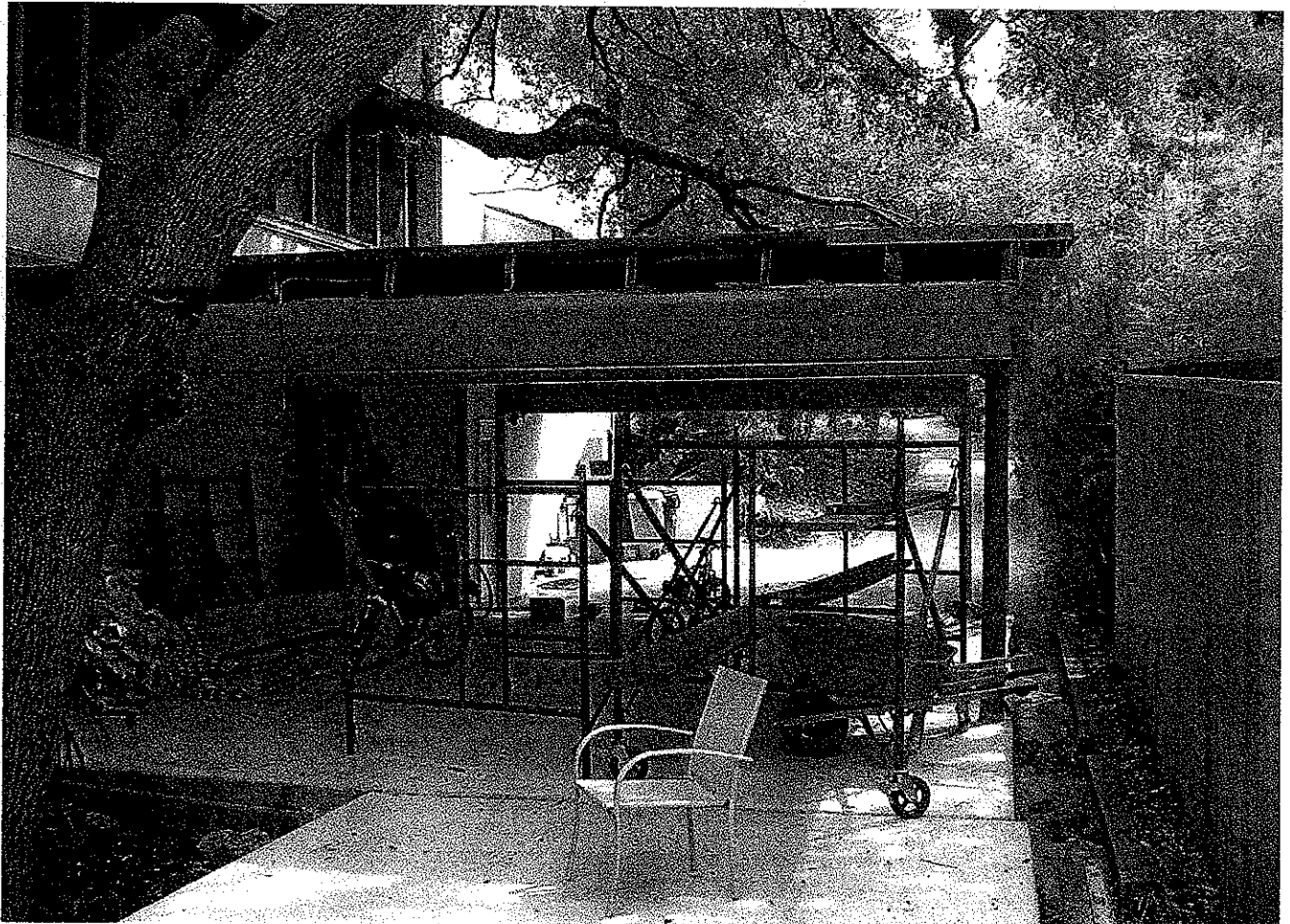
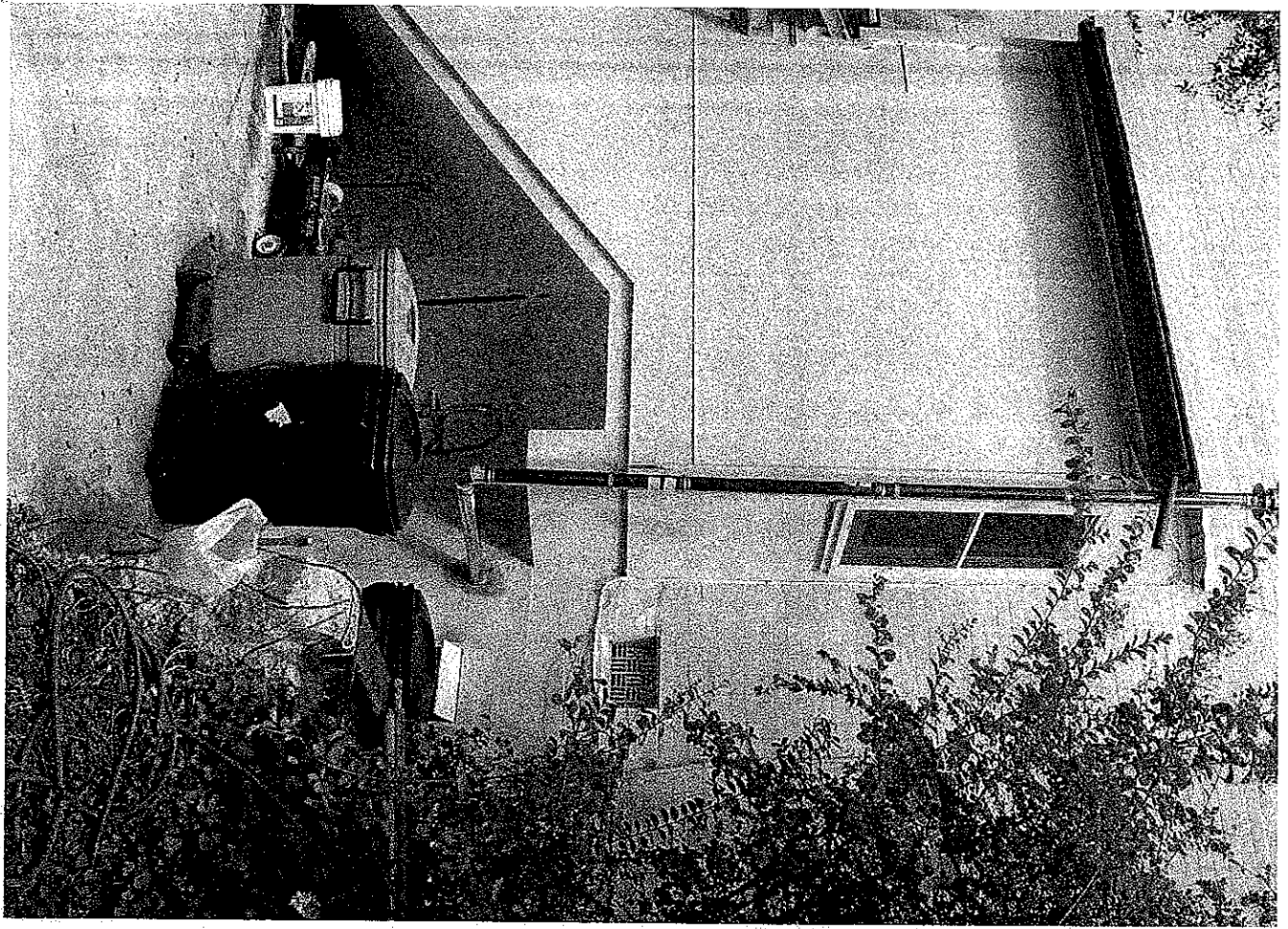
RECOMMENDATION:

The staff recommends approval of this request as submitted with the stipulation that a more appropriate garage door is used. The proposed changes are architecturally and esthetically appropriate for their setting and will have no adverse effects on the property or the district.

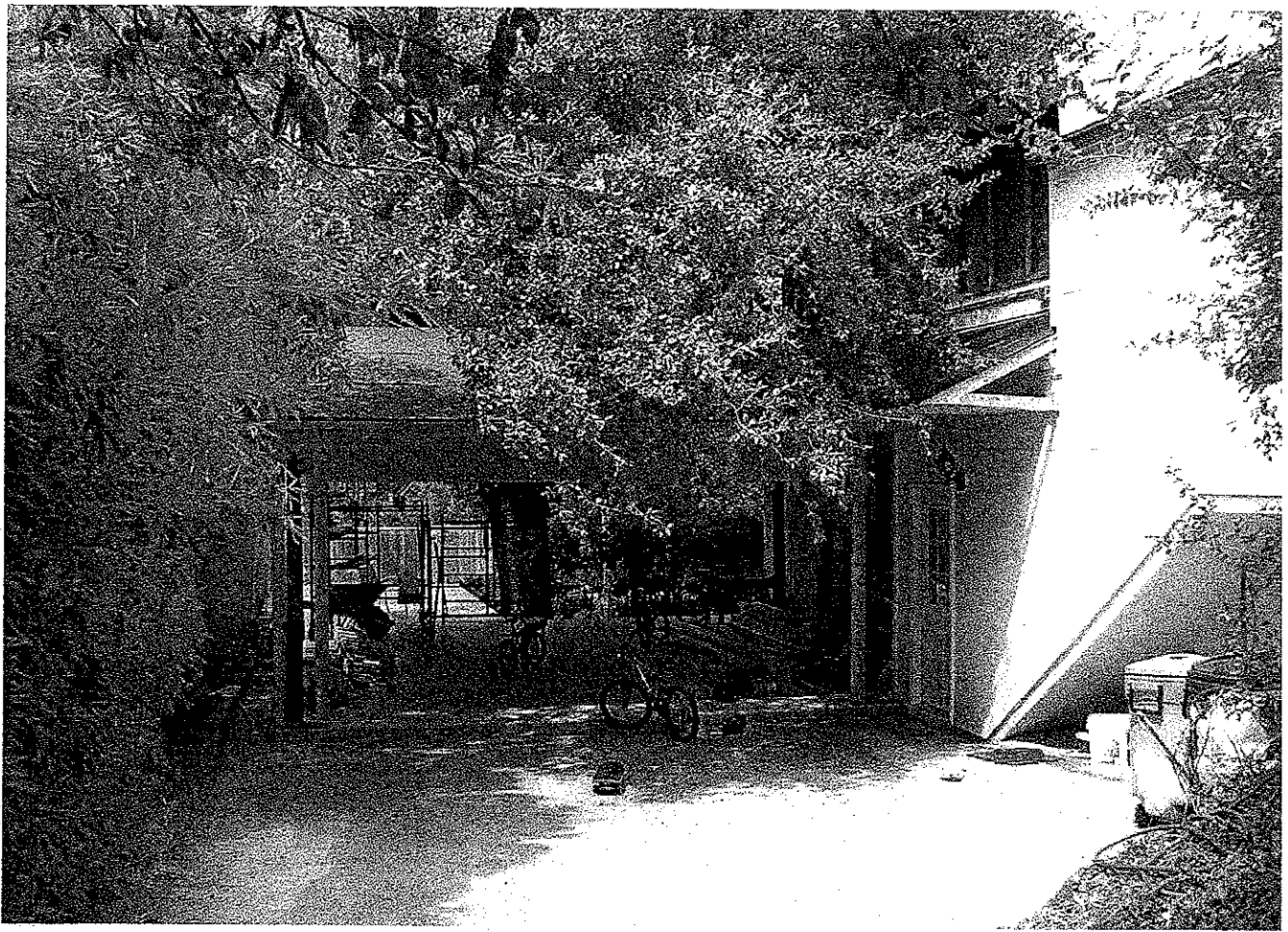
CASE COMMENTS:



Chang Residence



Chang Residence

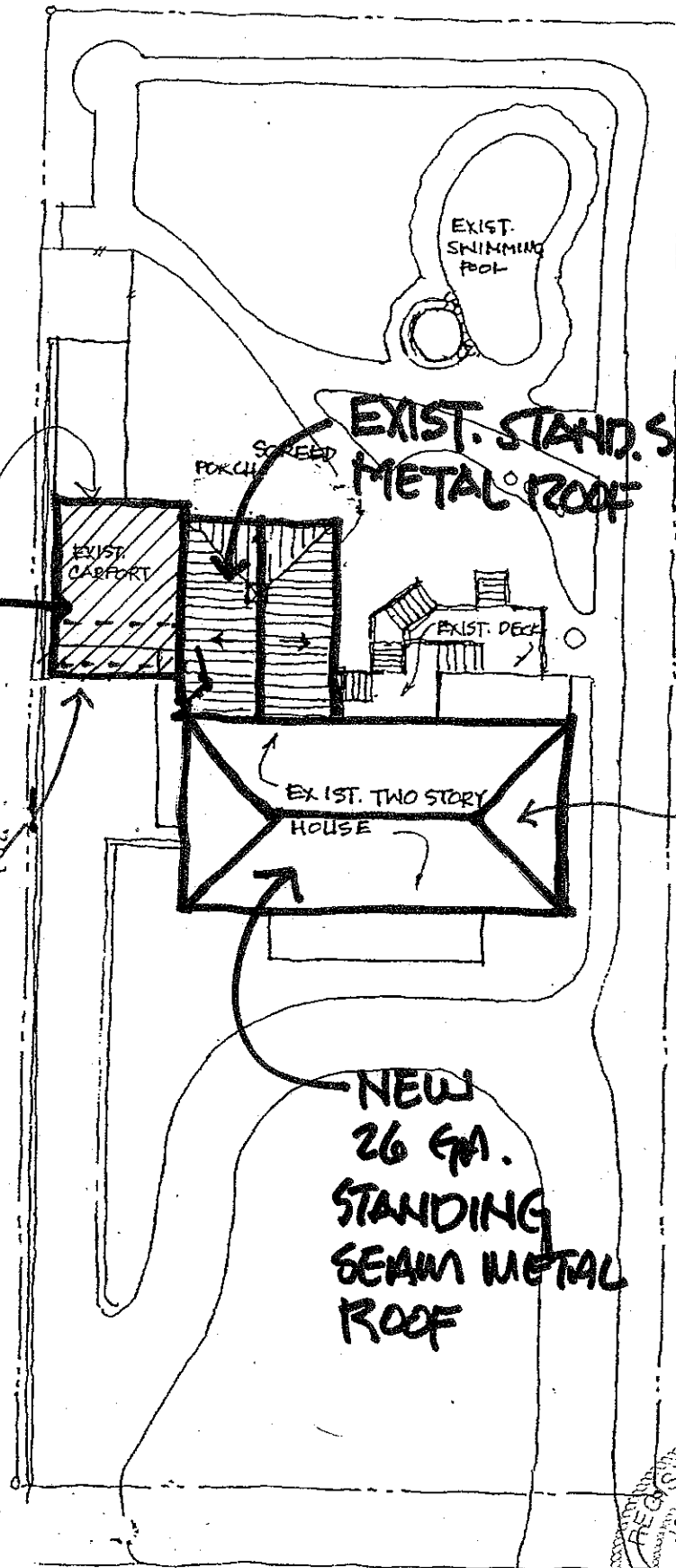


Chang Residence
431 E. Rosewood.

ENCLOSE
CARPORT

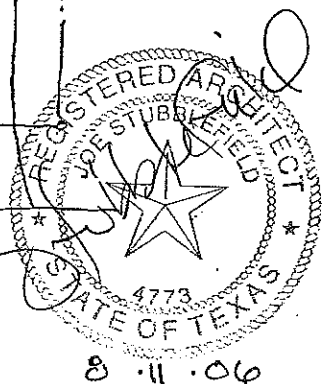
GARAGE DOOR

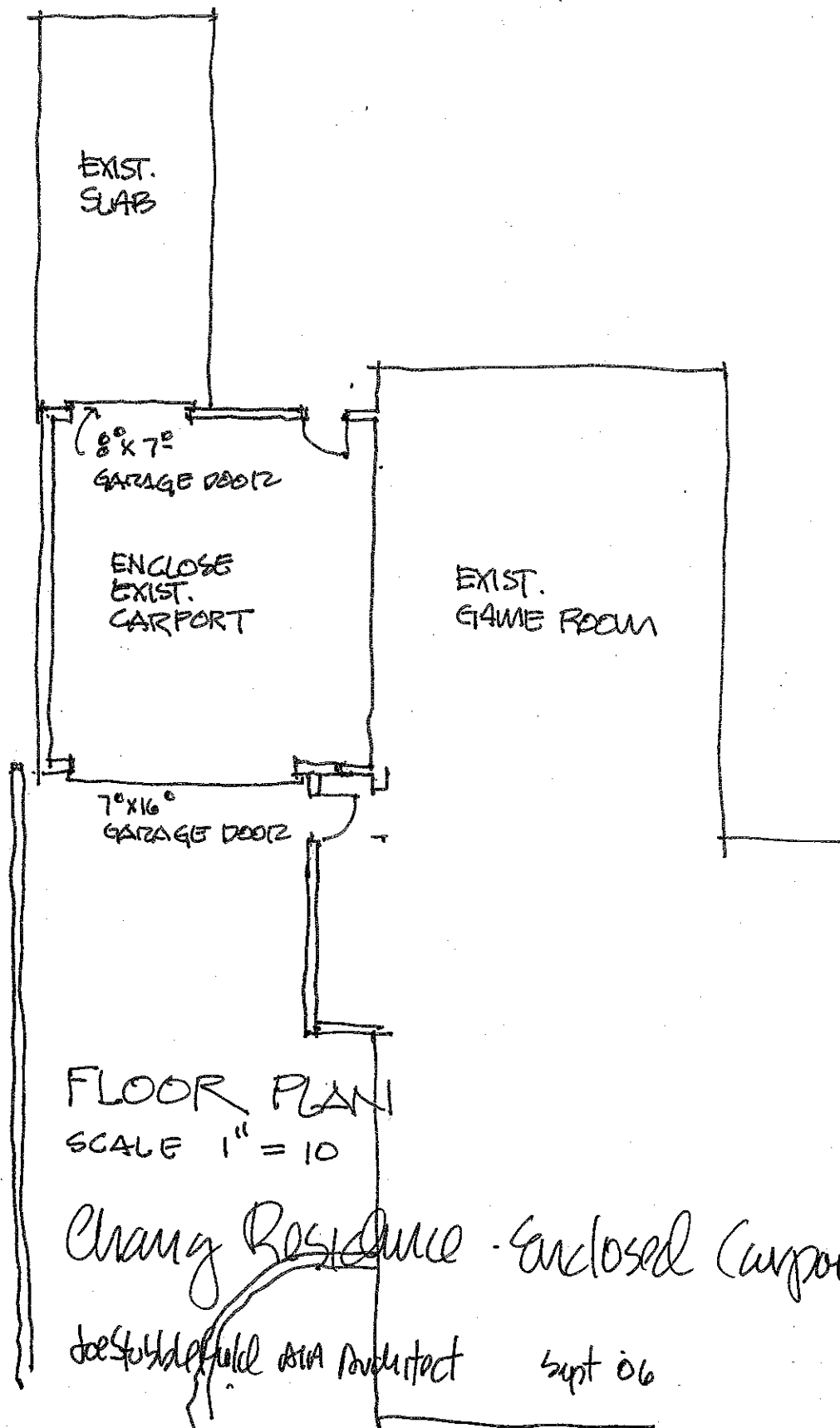
CHANG
RESIDENCE
SCALE 1" = 30'

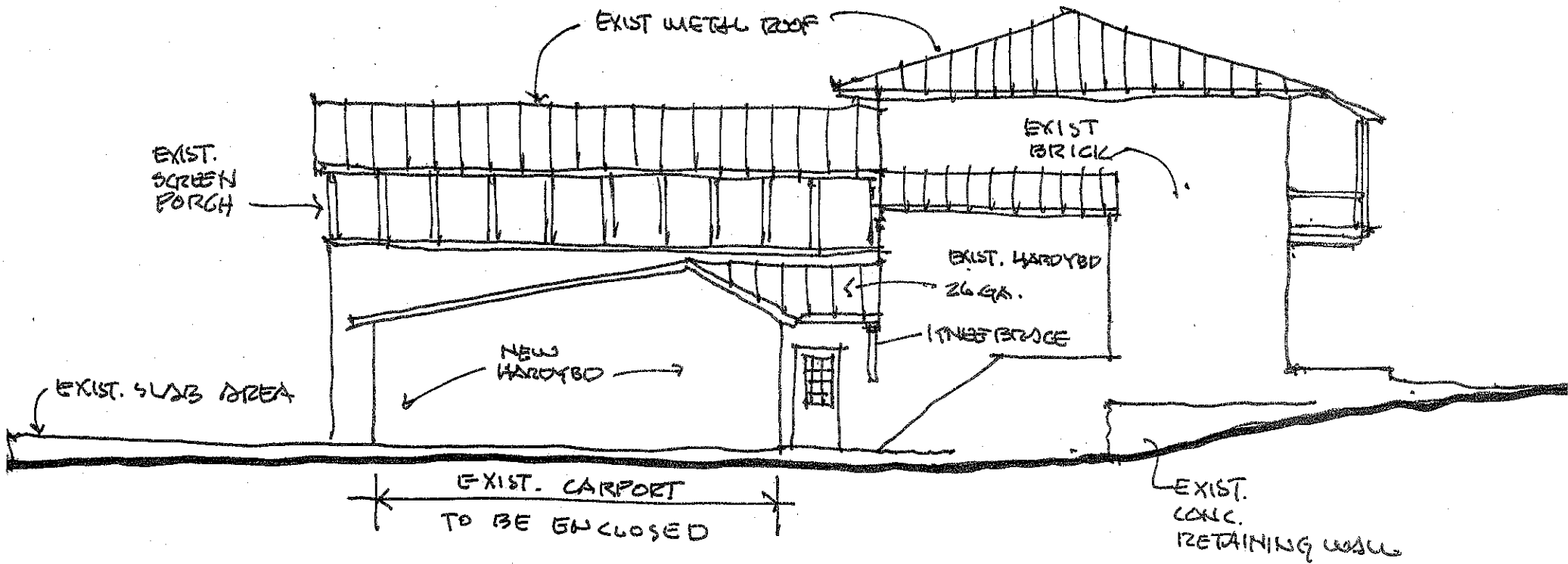


431 ROSEWOOD

STUBBLEFIELD ASSOCIATES AIA ARCHITECTS
1218 E. EUCLID SAN ANTONIO TX 78212

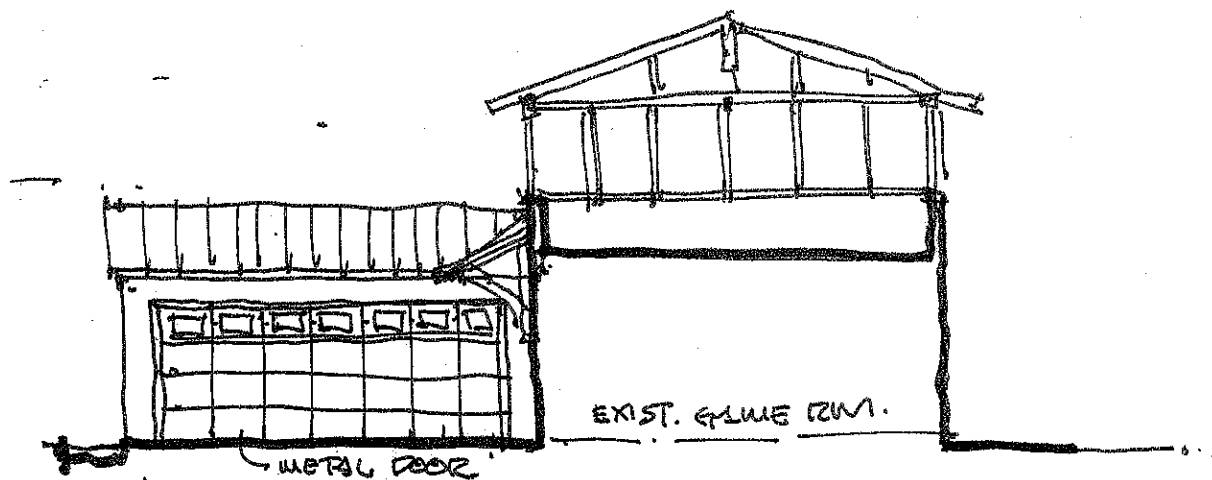






WEST ELEV.
SCALE 1" = 10'

STURGEONFIELD ASSOC ARCHITECTS



SOUTH ELEV./SECTION,
SCALE 1" = 10'

HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 16

HDRC CASE NO: 2006-315

IDENTIFIER:

ADDRESS: 122 East Houston Street

LEGAL DESCRIPTION: NCB 106 BLK LOT A-2

ZONING: "D H RIO-3" Downtown Historic RIO-3 District

PUBLIC PROPERTY:

COUNCIL DISTRICT: 1

DISTRICT: Main/Military Plaza Historic District, RIO-3

LANDMARK:

APPLICANT: Pinnacle Signs, LLP

OWNER: Cambridge Realty Group Inc

TYPE OF WORK: Signage

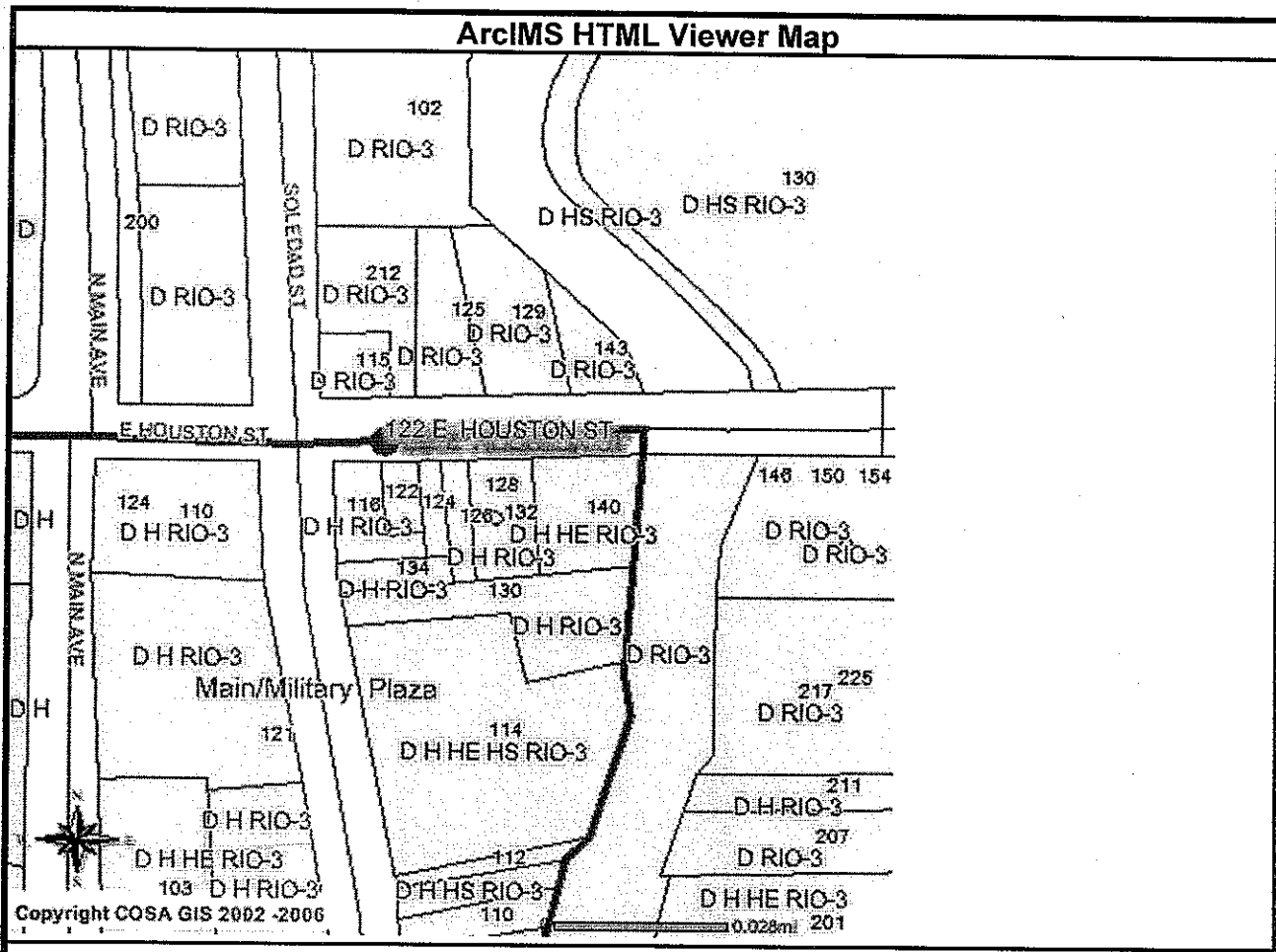
REQUEST:

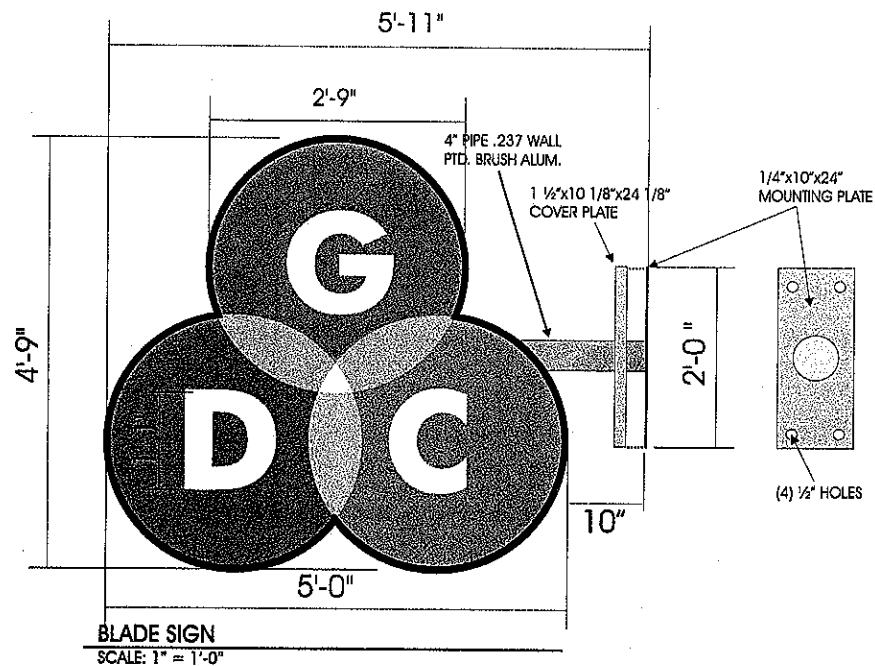
Install one double-face internally illuminated 5 ft wide x 4 ft. 8 in high blade sign for "GDC" (Guerra-DeBerry-Coody) mounted at the corner of the building.

RECOMMENDATION:

Staff is working with the applicant to design a sign more in keeping with Houston Street. The applicant will submit revised plans at the October 4 meeting. Staff recommends a signage master plan for the entire multi-tenant building.

CASE COMMENTS:





(4) 1/2" HOLES

TOP
VIEW

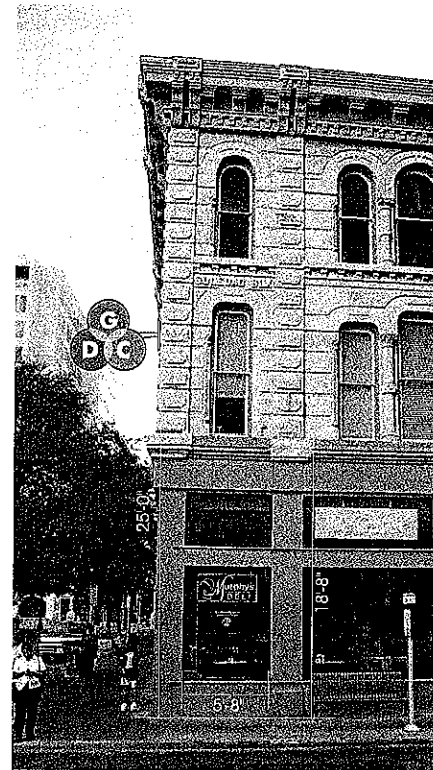
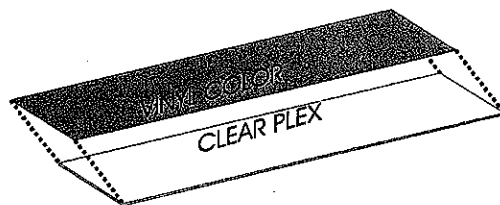


PHOTO SURVEY

SCALE: 1/8" = 1'-0"

DESCRIPTION

MFG. CUSTOM FRAME WORK TO SUPPORT BLADE SIGN, USING 4" PIPE, PAINTED BLUSH ALUM. & ANGLE IRON TO MOUNT ON TO THE BUILDING
ALL ELECTRICAL WILL RUN THOUGH THE SQUARE TUBING, APPLY VINYL ON CLEAR PLEX AND THEN INSERTED INSIDE ON THE BLADE SIGN TO SHOW COLOR ALL AROUND

Pinnacle
SIGNS, LLP

11910 Radium
San Antonio, TX 78216

ph: (210) 349-9777 fax: (210) 366-1788

pinnacle-signsllp.com

Sheet: 2 of 3

Date: 2/13/06

Project: Guerra-DeBerry-Coody

Address: _____

Suite#: _____

City/ State: San Antonio, TX

Revision: 6/29/06 8/3/06

Sales: JC Designer: GS

Design No: C06-035a.2

☐ Approved with changes as noted.

☐ Changes needed

X CUSTOMER APPROVAL

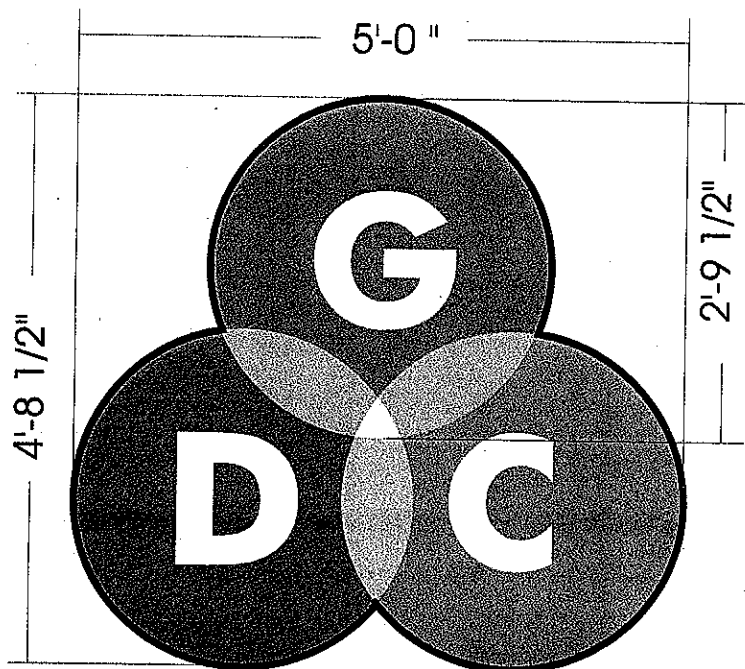
X LANDLORD APPROVAL

This drawing is property of Pinnacle Signs LLP. Any use of it is prohibited without the consent of Pinnacle Signs LLP. We will be entitled to bring charges to any party that uses this drawing.

Signs will be manufactured with 120 Volts A/C. All Primary electrical service to the sign, and final connection thereof, is the responsibility of the buyer. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

PHOTO NOTE:

The representative of the signage depicted on this page is for illustrative purpose only and may not accurately reflect the actual size, location, specifications or other attributes of the signage. Pinnacle Sign shall not be responsible or liable for any discrepancy whatsoever between any aspect of the signage as represented herein and the actual signage itself.

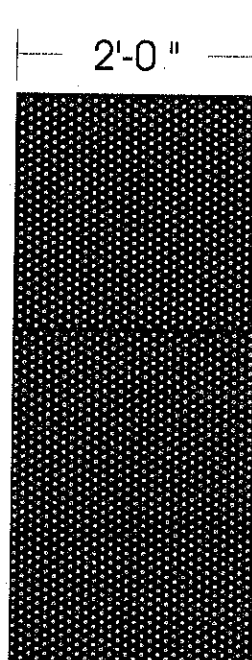


BLADE SIGN

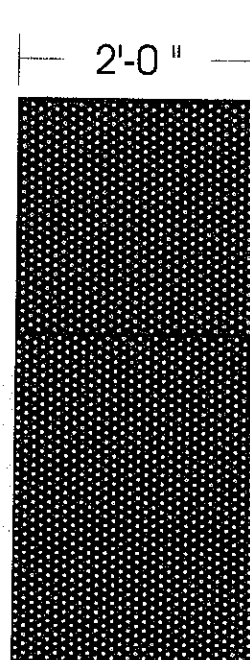
SCALE: 3/4" = 1'-0"

DESCRIPTION

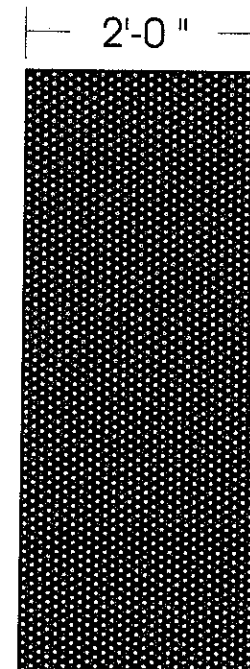
MFG. & INST. (1) D/F INTERNALLY ILLUM. BLADE SIGN WITH VINYL GRAPHICS. RETURNS TO BE MADE OF PERFORATED ALUMINUM WITH LIGHTS TO GLOW THOUGH THE SIDES AS WELL.



FRONT VIEW

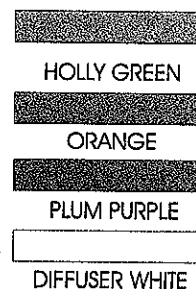


BACK VIEW



BOTTOM VIEW

3M COLOR KEY :



Pinnacle
SIGNS, LLP
11910 Radium
San Antonio, TX 78216
ph: (210) 349-9777 fax: (210) 366-1788
pinnacle-signsllp.com

Sheet: 1 of 3

Date: 2/13/06

Project: Guerra-DeBerry-Coody

Address:

Suite#:

City/ State: San Antonio, TX

Revision: 6/29/06

Sales: JC Designer: GS

Design No: C06-035a.2

☐ Approved with changes as noted.

☐ Changes needed

X CUSTOMER APPROVAL

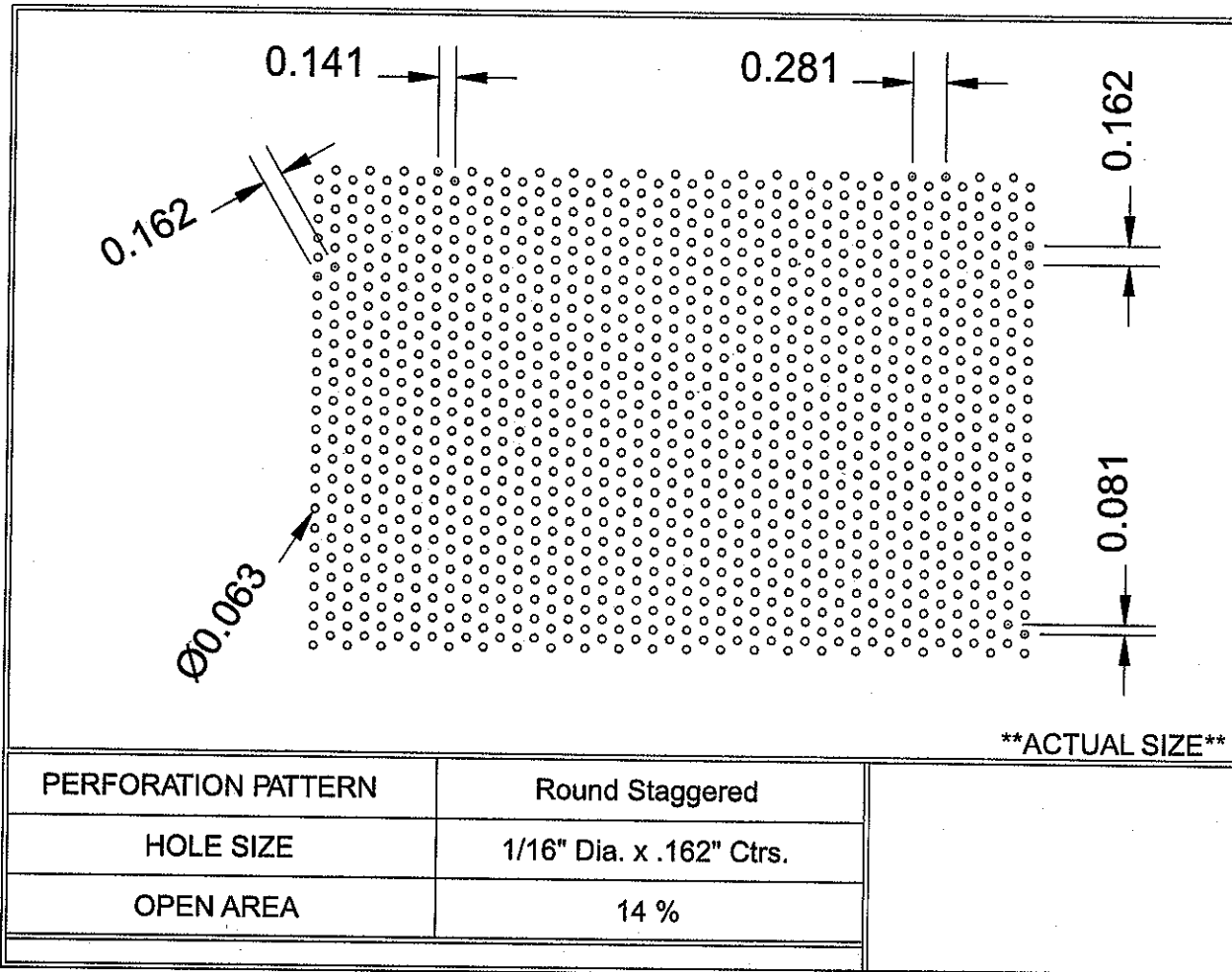
X LANDLORD APPROVAL

This drawing is property of Pinnacle Signs LLP. Any use of it is prohibited without the consent of Pinnacle Signs LLP. We will be entitled to bring charges to any party that uses this drawing.

Signs will be manufactured with 120 Volts A/C. All Primary electrical service to the sign, and final connection thereof, is the responsibility of the buyer. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

PHOTO NOTE:

The representative of the signage depicted on this page is for illustrative purposes only and may not accurately reflect the actual size, location, specifications or other attributes of the signage. Pinnacle Sign shall not be responsible or liable for any discrepancy whatsoever between any aspect of the signage as represented herein and the actual signage itself.



Pinnacle
SIGNS, LLP
11910 Radium
San Antonio, TX 78216
ph: (210) 349-9777 fax: (210) 366-1788
pinnacleesignsllp.com

Sheet: 3 of 3

Date: 2/13/06

Project: Guerra-DeBerry-Coody

Address: _____

Suite#: _____

City/ State: San Antonio, TX

Revision: 6/29/06

Sales: JC Designer: GS

Design No: C06-035a3

☐ Approved with changes as noted.

☐ Changes needed

X CUSTOMER APPROVAL

X LANDLORD APPROVAL

This drawing is property of Pinn Signs LLP Any use of it is prohil without the consent of Pinnacle Sigs, LLP. We will be entitled to bring charges to any party that uses this drawing.

Signs will be manufactured with 120 Volts A/C. All Primary electrical service to the sign and final connection thereof, is the responsibility of the buyer. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

PHOTO NOTE:

The representative of the signage depicted on this page is for illustrative purpose only and may not accurately reflect the actual size, location, specifications or other attributes of the signage. Pinnacle Sign shall not be responsible or liable for any discrepancy whatsoever between any aspects of the signage as represented herein and the actual signage itself.

HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 17

HDRC CASE NO: 2006-316

IDENTIFIER:

ADDRESS: 524 Leigh Street

LEGAL DESCRIPTION: NCB 2739 BLK LOT 3A & E 19 FT OF 5F

ZONING: "R-5 H" Residential single Family Historic District

PUBLIC PROPERTY:

COUNCIL DISTRICT: 1

DISTRICT: Lavaca Historic District

LANDMARK:

APPLICANT: Dawn Domaschk

OWNER: Same

TYPE OF WORK: Demolition

REQUEST:

The applicant is requesting a Certificate of Appropriateness for Final Approval to demolish a 648 square foot house located at 524 Leigh. A notice from Neighborhood Service to demolish the house, an estimate to restore the house and a proposal to build a new house is included in the application.

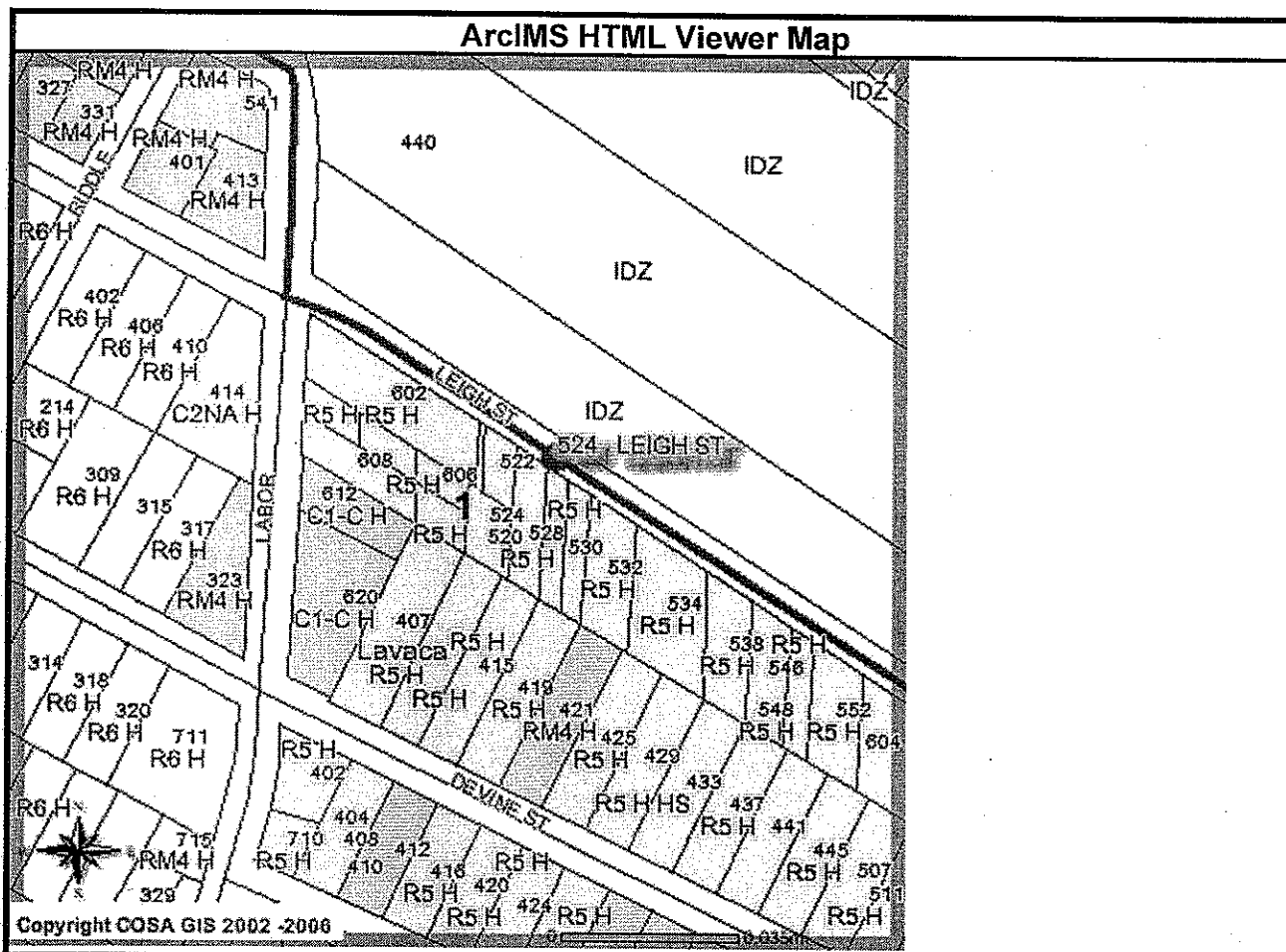
The accompanying exhibits provide additional information.

RECOMMENDATION:

The staff does not recommend approval of this request. The house at 524 Leigh Street is in its original location. Built circa 1925, the house reflects the Craftsman Bungalow so popular in the United States and Texas during the 1920s. Due to economics of the homebuyers and due to the small lots in this area, the dimension of the houses, in regards to massing, could only be so large. Lot size not only affected massing, but also affected orientation of the house to the street and within the lot. Unlike many houses in the area, 524 Leigh Street has retained the original wood columns and detailing of the capital, plus the original wood siding has not been removed or covered by incompatible synthetic materials. Although a vernacular building and not considered "high-style" the building reflects a certain amount of good workmanship by the addition of the brackets, the plain pendants in the gable ends and detailing of the columns. Due to the fact that all the original material is intact, no new material has been added, and no major additions have been added (with the exception of an enclosed rear porch), this house significantly retains its feeling and association as a 1920s bungalow in a working class neighborhood. The house at 524 Leigh is a strong and integral component not only in Leigh Street but, to the Lavaca District as a whole. Preliminary research has indicated that this house is associated with the historic African-American Baptist Settlement. The staff will continue to research.

CASE COMMENTS:

A previous request to demolish this house was denied on August 4, 2004.



July 28, 2006

CITY OF SAN ANTONIO
DEPARTMENT OF PLANNING

06 SEP -8 AM 8:42

Dear Sir or Madam:

On Saturday, July 22, 2006, I received a notice (#20857609) from the Code Compliance Department of San Antonio regarding my house located at 524 Leigh Street, San Antonio, TX 78210. The Code Compliance Department has declared the house structurally unsound and is recommending demolition. I am in agreement with their recommendation and would like to request a permit for demolition.

I am aware that the property is located in the Lavaca Historic District and that the house was erected during a period of historical significance. However, the house has deteriorated to a point that makes it economically infeasible to restore the structure. I have enclosed photographs of the structure taken when I purchased the house in May 2005 to prove that I have not intentionally let the structure deteriorate. Additionally, I have enclosed an estimate to restore the current structure, which is 648 square feet in size. The estimate equates to a cost of approximately \$139 per square foot to restore the existing structure.

Also enclosed is an estimate to construct a new house on the lot. The exterior, interior, and lot site plans of the proposed house are enclosed. At a size of 2040 square feet, the cost to construct a new house equates to approximately \$93 per square foot. At an additional cost of over \$45 per square foot to restore the existing structure, it is clear that restoration causes undue economic hardship.

A final consideration is the location of the house. The revitalization of Victoria Courts is currently under way. Phase three of this revitalization plan calls for the construction of single family homes on the north side of Leigh Street. Thus, a new house located across the street from an entire city block of new houses will not seem out of place. And if approved, the new house will be constructed in an architectural style similar to the existing homes in the Lavaca area as to enhance the charm of the Lavaca Historic District.

Thank you,


Dawn Domaschk

CITY OF SAN ANTONIO
P.O. BOX 839966
SAN ANTONIO, TEXAS 78283-3966

CITY OF SAN ANTONIO
NOTICE OF VIOLATION
DATE OF CITY OF SAN ANTONIO
20857609
06 SEP -8 AM 8:42

PROPERTY AT: 524 LEIGH ST

LEGAL DESCRIPTION: NCB 2739 BLK

LOT 3A & E 19 FT OF

CONTACT ENFORCEMENT OFFICER: IRMA YBARRA

PHONE: (210) 416-2159

NOTICE OF VIOLATION

THE CODE COMPLIANCE DEPARTMENT OF SAN ANTONIO IS RESPONSIBLE FOR ENFORCING THE CITY CODES PROVISIONS FOR HEALTH AND SAFETY RELATING TO VACANT AND/OR UNSECURED STRUCTURES. THIS IS A NOTICE THAT THE PROPERTY DESCRIBED ABOVE HAS BEEN DETERMINED TO BE A PUBLIC NUISANCE AS DEFINED IN THE CITY CODE.

THE CODE COMPLIANCE DEPARTMENT HAS IDENTIFIED THE PREMISES/STRUCTURE TO BE:

- () STRUCTURALLY UNSOUND/UNSAFE (X) REQUIRING DEMOLITION () IN NEED OF REPAIRS
- () DEMOLISH ACCESSORY BLDG () REPAIR ACCESSORY BLDG
- () REMOVE JUNK VEHICLE () UNSECURED
- () OVERGROWN W/ PLANTS AND/OR CONTAINING RUBBISH, GARBAGE, DEBRIS, OR REFUSE

THE CONDITION OF THE PROPERTY COULD POSE A SERIOUS THREAT TO PUBLIC HEALTH AND SAFETY. THE PROPERTY OWNER IS RESPONSIBLE FOR CLEANING THE PROPERTY OF ALL GRASS/DEBRIS, WEEDS, GRASS, AND/OR BRUSH MUST BE CUT LOWER THAN TWELVE (12) INCHES WITHIN ONE HUNDRED FIFTY (150) FEET OF ANY BUILDING, ADJACENT CURB OR STREET, OR ANY SCHOOL PROPERTY LINE ON ANY LOT THREE ACRES OR LARGER; AND ON THE ENTIRETY OF ANY LOT SMALLER THAN THREE ACRES. THE PROPERTY OWNER IS ALSO RESPONSIBLE FOR SECURING ALL STRUCTURE(S) TO COMPLY WITH THE CITY CODE. NECESSARY CLEAN-UP WORK AND REPAIRS MUST BE COMPLETED WITHIN TEN (10) DAYS AFTER THE RECEIPT OF THIS NOTICE.

FAILURE TO COMPLY WITH THE CITY CODE REQUIREMENTS WILL RESULT IN THE CITY OF SAN ANTONIO'S PURSUIT OF FURTHER LEGAL ACTION TO CORRECT ANY VIOLATIONS. THIS COULD RESULT IN CRIMINAL AND/OR CIVIL FINES AND PENALTIES, INCLUDING ATTORNEY'S FEES AND COSTS TO CORRECT THE CONDITION. CURRENTLY, THE CITY DOES NOT WISH TO IMPLEMENT SUCH SERIOUS STEPS; HOWEVER, IT WILL HAVE NO CHOICE BUT TO SEEK ALL REMEDIES ALLOWED BY LAW SHOULD THERE BE A FAILURE TO COMPLY WITH THIS NOTICE.

PLEASE COMPLETE AND MAIL THE BOTTOM PORTION ON THIS NOTICE WITHIN TEN (10) DAYS OR CONTACT THE CODE ENFORCEMENT OFFICER NAMED ABOVE REGARDING THIS SITUATION. THE ENFORCEMENT OFFICER MAY BE REACHED BETWEEN THE HOURS OF 8:45 AM AND 4:30 PM, MONDAY THROUGH FRIDAY. PLEASE HAVE THIS VIOLATION NOTICE AVAILABLE WHENEVER CONTACTING THE ENFORCEMENT OFFICER.

LIZ C. GARCIA
ACTING DIRECTOR OF CODE COMPLIANCE

CONTACT ENFORCEMENT OFFICER: IRMA YBARRA

NOTICE #: 20857609

PROPERTY LOCATION: 524 LEIGH ST

() 1. I DO NOT OWN THIS PROPERTY AND NEVER HAVE.

() 2. I SOLD THIS PROPERTY TO:

NAME: _____

ADDRESS: _____

DATE SOLD: _____

() 3. I NEED MORE TIME TO COMPLY AND WILL COMPLY BY THIS DATE: _____

() 4. I COMPLETED ALL NECESSARY WORK ON: _____

() 5. OTHER SITUATIONS (MUST SPECIFY ON BACK OF FORM)

PRINT NAME: _____ TODAYS DATE: _____

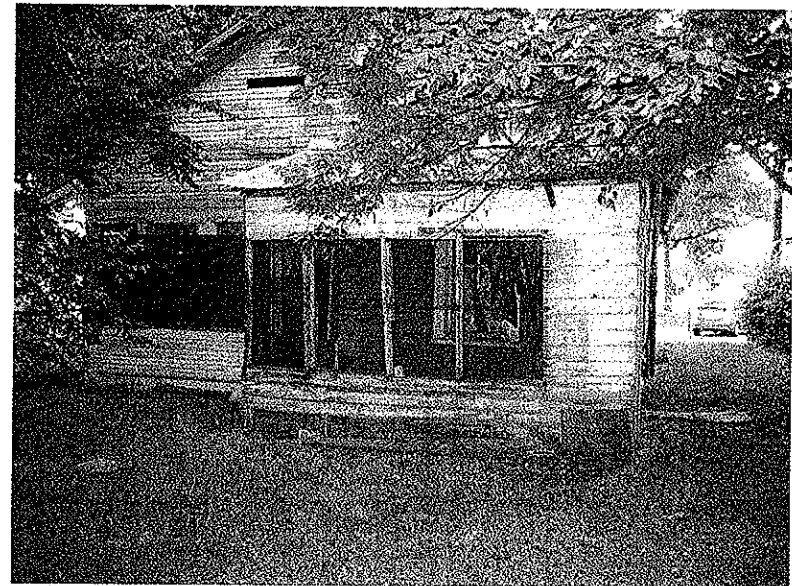
ADDRESS: _____ PHONE: _____

SIGNATURE: _____

524 Leigh Street, San Antonio, TX 78210 – May 2005 Photographs



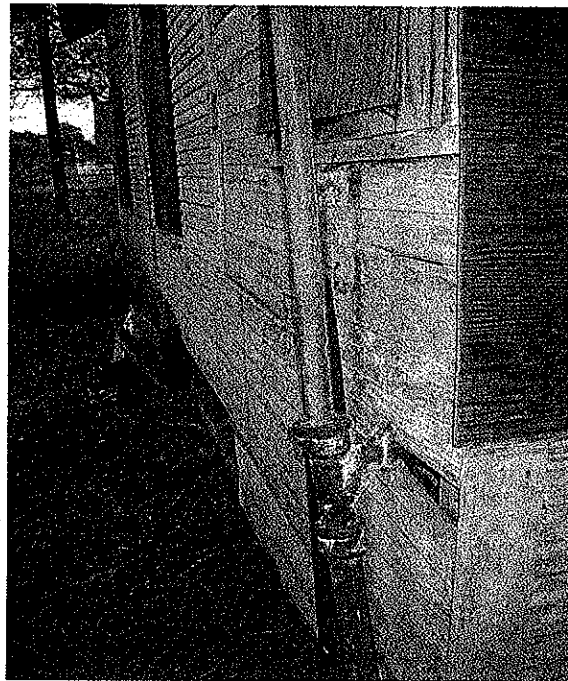
Front View



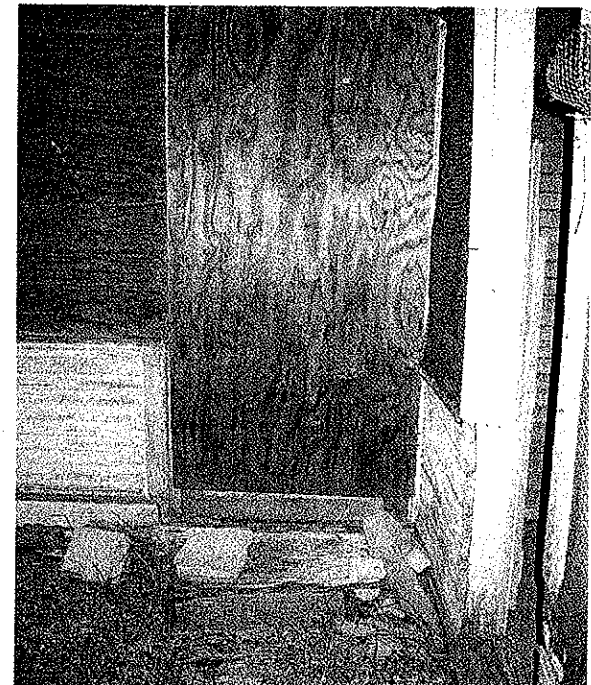
Back View



East Side View (from Front)



West Side View (from Back)



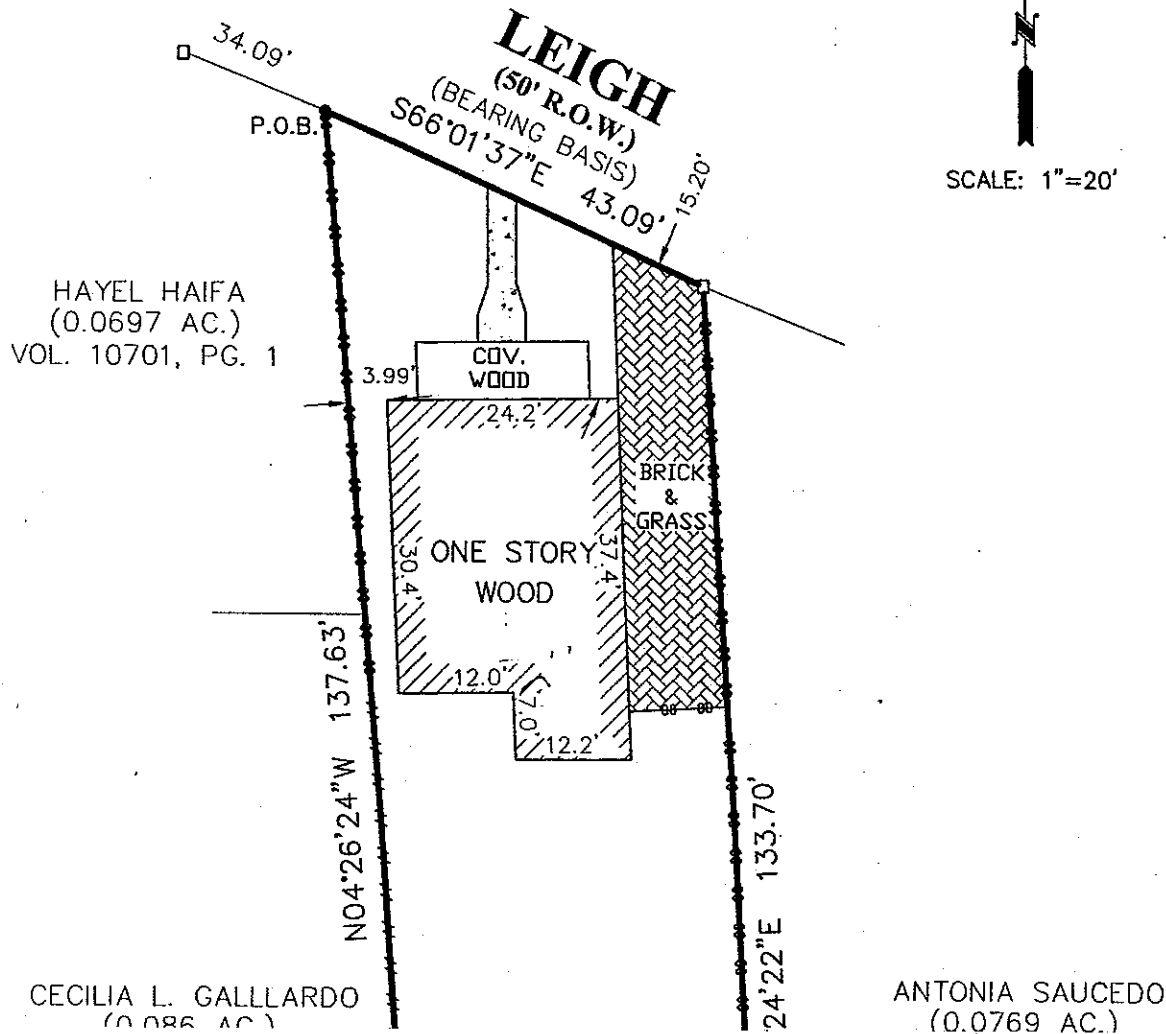
Back Door

PLAT IS SUBJECT TO RESTRICTIVE COVENANTS, EASEMENTS, AGREEMENTS, AND/OR SETBACK LINES (IF ANY) AS FOLLOWS: XXXXXXXXXXXXXXXX

XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX

LEGEND	● = FND IRON ROD	△ = CALCULATED POINT	⊙ = POWER POLE	B.S. = BUILDING SETBACK
	○ = SET IRON ROD	■ = TELEPHONE PEDESTAL	—+— = OVERHEAD ELECTRIC	U.E. = UTILITY EASEMENT
	× = "X" ON CONCRETE	⊙ = CABLE TELEVISION	—x— = WIRE FENCE	D.E. = DRAINAGE EASEMENT
	□ = FENCE POST	⊙(W) = WATER METER	—//— = WOOD FENCE	E.E. = ELECTRIC EASEMENT
	▲ = PK NAIL	() = RECORD INFORMATION	—oo— = CHAIN LINK FENCE	M.E. = MAINTENANCE EASEMENT

As scaled from FEMA's FLOOD INSURANCE RATE MAP, Community No. 480269, Panel No. 0015 D, Panel Dated 07-17-95, this tract is in Zone(s) C and is not in a special flood hazard zone. This flood zone information is to be used for informational purposes only. This surveyor does not certify to any information provided by FEMA.



ROGERS ROOFING AND REMODELING
3447 Weil Road
Marion, TX 78124
Phone: 830-914-2475

DATE: 8-31-05
PROPOSAL #83105

Ms. Dawn Domaschk
524 Leigh St.
San Antonio Tx 782
Hm. # 522-6782
Wk. #

We hereby propose to furnish material and labor in accordance with the attached: PLANS AND SPECIFICATIONS () TERMS AND CONDITIONS (X).
Payment to be made as follows: 20% down the remaining to be made in draws based upon completion.

SCOPE OF WORK:

PLANS PERMITS AND INSURANCE: Includes city approved plans and permits, includes builders risk policy and company liability policy.

DEMO: Includes removing necessary skirting to give access to foundation workers. Remove existing interior sheetrock to make access for electricians, plumbers, and carpenters for removal of windows and doors. Remove all plumbing and electrical rough in materials to accommodate new wiring and electrical.

PIER AND BEAM FOUNDATION: Includes 40 each, 6" diameter x 24" below existing grade cedar posts on 24" diameter x 6" deep concrete pads w/ 6x6 wire mesh continuous.

FRAMING: Includes continuous 4x6 treated beams @ piers, repair of 2x8 treated floor joist @ 16" O.C. @ bath room floors, 3/4" tongue and groove plywood subfloor, 1/2" OSB decking on roof, brace roof as necessary.

MASONRY SKIRT: Includes subframing to be 2x2 treated lumber to 2" above grade, 3/4" stucco skirt a minimum of 3" into existing grade w/ 8x16 vents @ 7' O.C.

ROOFING: Includes a 20 year 3 tab composition roof on 15# felt underlayment. Product has a 20 year warranty on material.

WINDOWS AND EXTERIOR DOORS: Includes new 3050 alluminum single hung

double insulated windows, LO "E" insulated glass. 1 each 3068 metal door with oval glass, 1 each 2868 solid 6 panel metal door.

ELECTRICAL: Includes all wiring, boxes, and installation for 20 each duplex outlets, 3 each GFI receptacles, 3 each weather proof receptacles, 10 each single pole switches, 4 each 3-way switches, 3 each ceiling fan and light outlets, 2 each exterior light, 1 each hall light outlet, 2 each closet light outlet, 1 each vanity lights, 1 each heat/vent/light, 1 each 125amp meter loop, 1 each 100amp sub panel with breakers and feeders, 4 each smoke detectors, 2 each attic lights with plug and switches, 1 each 15KW furnace disconnect, 1 each 2 ton A/C unit disconnect.

PLUMBING: Includes all rough in plumbing to main drain with pvc schedule 40 pipe, all water lines, valves and connections to fixtures. Installation and supply of, 1 each vanity (new) w/ cultured marble top and faucet, 1 each toilet, 1 each fiberglass 5' tub and shower combo, 1 each 40 gallon gas water heater. Gas lines new from meter to stove, water heater and furnace.

AIR CONDITIONING: 2 ton RUDD 12 ser A/C unit and furnace w/ all ducts, registers and refrigerant lines.

INSULATION: Includes R-30 blown in attic only, will install new R-13 in exterior walls that get opened to studs.

SHEETROCK: Includes 5/8" sheetrock on ceilings and 1/2" sheetrock on walls, tape, float and texture. Texture to be orange peel. Repair as necessary walls affected by our work, tape, float and match existing texture.

PAINT: Includes priming of all new material and latex exterior paint on outside, latex interior paint on inside, stain and varnish cabinets. All colors to be selected by owner.

INTERIOR TRIM: Includes installation of 2 each 2468 doors @ closet doors, 2 each 2868 door bedrooms, 1 each 2468 door into bathroom, all new sills @ all windows, installation of shelves and rod in both closets, baseboards in all areas. All doors to be 6 panel masonite doors with wood frames.

MIRRORS: 1 each new mirrors @ vanities in master bathroom.

HARDWARE: Installation and supply of door hardware, bath room towel bars and toilet paper holder.

FLOORING: Includes supply and installation of new carpet throughout, vinyl flooring in wet areas.

This proposal does not include: Any work not mentioned on plans or called out in

specifications.

FOR THE SUM OF EIGHTY NINE THOUSAND FOUR HUNDRED FIFTY AND 00/100 DOLLARS. (\$89,450.00)

Acceptance of proposal – the above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

SIGNATURE

SIGNATURE

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from the above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All extras and overages on allowance will include cost plus profit and overhead, and are payable 50% up front and 50% upon completion of the extras. All agreements contingent upon strikes, accidents, or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our company carries the accepted insurance to protect our work and our employees.

DATE OF ACCEPTANCE

AUTHORIZED SIGNATURE

This proposal may be withdrawn by us if not accepted within 30 days
Expiration date 2005

ANY HOLDER OF HIS CONSUMER CREDIT CONTRACT IS SUBJECT OT ALL CLAIMS AND DEFENSES WHICH THE DEBTOR COULD ASSERT AGAINST THE SELLER OF GOODS OR SERVICES OBTAINED PURSUANT HERETO OR WITH THE PROCEEDS HEREOF. RECOVERY HEREUNDER BY THE DEBTOR SHALL NOT EXCEED AMOUNTS PAID BY THE DEBTOR HEREUNDER.

“IMPORTANT NOTICE: You and your contractor are responsible for meeting the terms and conditions of this contract. If you sign this contract and you fail to meet the terms and conditions of this contract, you may lose your legal ownership rights to your property. KNOW YOUR RIGHTS AND DUTIES UNDER LAW.”

YOU, THE BUYER MAY CANCEL THIS TRANSACTION AT ANY TIME PRIOR TO MIDNIGHT OF THE THIRD BUDINESS DAY AFTER THE DATE OF THIS

ROGERS ROOFING AND REMODELING
3447 Weil Road
Marion, TX 78124
Phone: 830-914-2475

DATE: 9-13-05
PROPOSAL #91305

Ms. Dawn Domaschk
524 Leigh St.
San Antonio Tx 782
Hm. # 522-6782
Wk. #

We hereby propose to furnish material and labor in accordance with the attached: PLANS AND SPECIFICATIONS () TERMS AND CONDITIONS (X).
Payment to be made as follows: 20% down the remaining to be made in draws based upon completion.

SCOPE OF WORK:

PLANS PERMITS AND INSURANCE: Includes city approved plans and permits, includes builders risk policy and company liability policy.

DEMO: Remove existing home..

PIER AND BEAM FOUNDATION: Includes 75 each 8" diameter concrete posts w/ 4 each #4 rebar vertical, a minimum of 24 " below existing grade, on 6" x 24" diameter concrete pads w/ 6x6 wire mesh continuous.

FRAMING: Includes continuous double 2 x 12 treated beam @ exterior and centered in home w/4x6 treated beams @ intermediate piers, 2x12 floor joist @ 24" O.C. first floor only, manufactured floor trusses @ 2nd floor @ 24" O.C., 3/4" tongue and groove plywood sub-floor. Wall framing to be 2x4 s.p.f studs @ 16" O.C., double top plate, roof framing to be 2 x 6 #2 y.p. @ 24" O.C., 1/2" OSB decking on roof, brace roof as necessary.

MASONRY SKIRT: Includes subframing to be 2x2 treated lumber to 2" above grade, 3/4" stucco skirt a minimum of 3" into existing grade w/ 8x16 vents @ 7' O.C.

ROOFING: Includes a 25 year dimensional composition roof on 15# felt underlayment. Owens Corning manufacture. Product has a 25 year warranty on material.

WINDOWS AND EXTERIOR DOORS: Includes new 12 each 3050, 3 each 2030,

alluminum single hung double insulated windows, 1 each 4040 fixed glass in master bath, 2 each 1060 fixed glass @ entry, all windows to be LO "E" insulated glass. 1 each 2868 6 panel metal door @ rear, 1 each 5068 double 15 lite metal door @ master bedroom, 1 each 3068 metal door with oval glass @ entry.

ELECTRICAL: Includes all wiring, boxes, and installation for 38 each duplex outlets, 7 each GFI receptacles, 4 each weather proof receptacles, 32 each single pole switches, 6 each 3-way switches, 5 each ceiling fan and light outlets, 6 each recessed cans, 1 each chandelier in dining room, 3 each exterior light, 4 each hall light outlet, 2 each closet lights, 3 each vanity lights, 2 each heat/vent/light, 1 each 200amp meter loop, 1 each 200amp sub panel with breakers and feeders, 4 each smoke detectors, 2 each attic lights with plug and switches, 2 each 15KW furnace disconnect, 2 each 3 ton A/C unit disconnect, 1 each 220 for water heater, 1 each 220 for stove, 2 each arch fault circuit breakers.

PLUMBING: Includes all rough in plumbing to main drain with pvc schedule 40 pipe, all water lines, valves and connections to fixtures. Installation and supply of, 2 each vanities (new) w/ cultured marble top and faucet, 3 each toilets, 1 each fiberglass 5' tub and shower combo, 1 each cultured marble tub in master bath, 1 each pedestal sink in half bath, 1 each 33x7" stainless steel sink with ½ h.p. garbage disposer, 1 each dishwasher, 1 each connections for washer and dryer, 1 each 40 gallon gas water heater.

AIR CONDITIONING: 2 each 3 ton RUDD 12 ser A/C unit and furnace w/ all ducts, registers and refrigerant lines.

INSULATION: Includes R-30 blown in attic only, will install new R-13 in exterior walls, and r-11 in sound barrier walls.

SHEETROCK: Includes 5/8" sheetrock on ceilings and ½" sheetrock on walls, tape, float and texture. Texture to be orange peel.

PAINT: Includes priming of all new material and latex exterior paint on outside, latex interior paint on inside, stain and varnish cabinets. All colors to be selected by owner.

INTERIOR TRIM: Includes installation of 3 each 2068 doors @ closet doors, 4 each 2868 doors bedrooms and utility room, 3 each 2668 doors into bathroom, 2 each 5068 bi-fold closet doors, 1 each 5068 double doors, all new sills @ all windows, installation of shelves and rod in closets, baseboards in all areas. All doors to be 6 panel masonite doors with wood frames.

GLASS & MIRRORS: 3 each new mirrors @ vanities in bathrooms, include surround in shower @ master bath.

HARDWARE: Installation and supply of door hardware, bath room towel bars and toilet paper holder.

FLOORING: Includes wood ¾" oak flooring through out 1st floor and hall of 2nd floor, supply and installation of new carpet in bedrooms and closets, ceramic tile floors in all bathrooms.

CERAMIC TILE: Shower to be constructed with shower pan and ceramic tile on floor, walls, and ceiling.

This proposal does not include: Any work not mentioned on plans or called out in specifications.

FOR THE SUM OF ONE HUNDRED NINETY THOUSAND SEVEN HUNDRED EIGHTY AND 00/100 DOLLARS. (\$190,780.00)

ADD #1 Metal roof	\$ 7,000.00
ADD#2 2 Car garage	\$18,000.00

This proposal is only an estimate, plans must be drawn and accepted before any price can be finalized.

SIGNATURE

SIGNATURE

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from the above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All extras and overages on allowance will include cost plus profit and overhead, and are payable 50% up front and 50% upon completion of the extras. All agreements contingent upon strikes, accidents, or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our company carries the accepted insurance to protect our work and our employees.

DATE OF ACCEPTANCE

AUTHORIZED SIGNATURE

This proposal may be withdrawn by us if not accepted within 30 days
Expiration date 2005

ANY HOLDER OF HIS CONSUMER CREDIT CONTRACT IS SUBJECT OT ALL CLAIMS AND DEFENSES WHICH THE DEBTOR COULD ASSERT AGAINST THE

SELLER OF GOODS OR SERVICES OBTAINED PURSUANT HERETO OR WITH THE PROCEEDS HEREOF. RECOVERY HEREUNDER BY THE DEBTOR SHALL NOT EXCEED AMOUNTS PAID BY THE DEBTOR HEREUNDER.

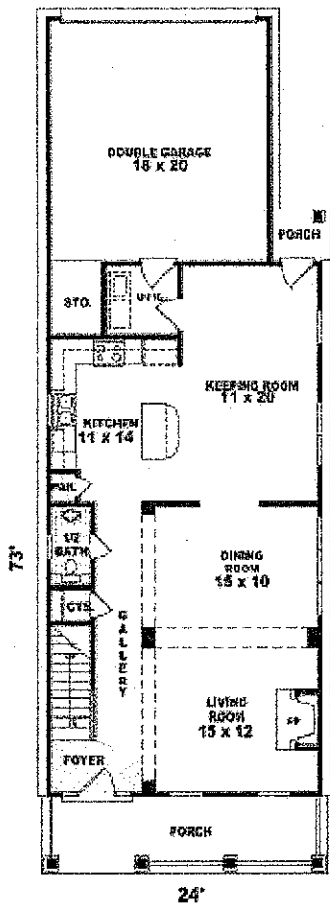
"IMPORTANT NOTICE: You and your contractor are responsible for meeting the terms and conditions of this contract. If you sign this contract and you fail to meet the terms and conditions of this contract, you may lose your legal ownership rights to your property. KNOW YOUR RIGHTS AND DUTIES UNDER LAW."

YOU, THE BUYER MAY CANCEL THIS TRANSACTION AT ANY TIME PRIOR TO MIDNIGHT OF THE THIRD BUSINESS DAY AFTER THE DATE OF THIS TRANSACTION.

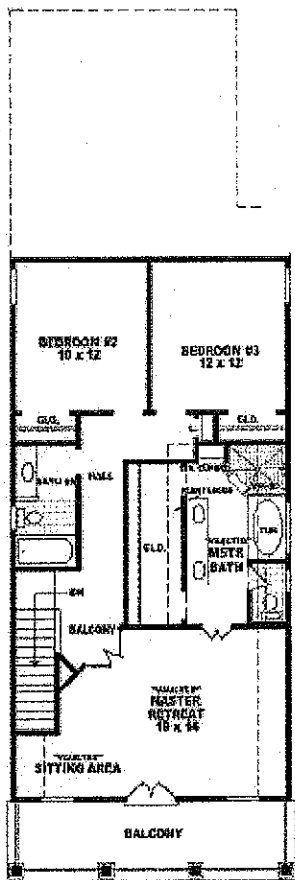
524 Leigh Street – Preliminary New Construction Plans



Front Rendering



First Floor Plan



Second Floor Plan

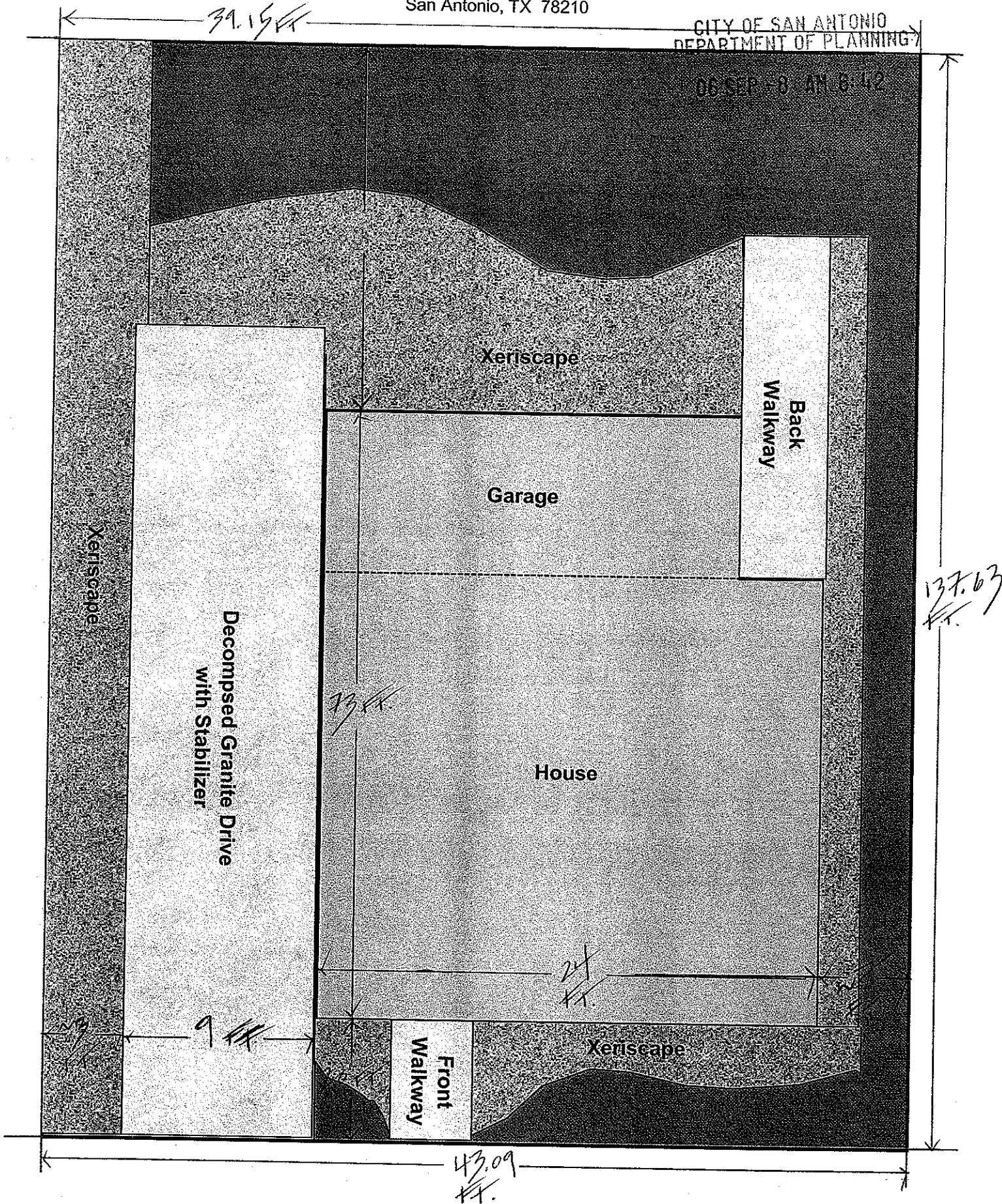
Plan Specifications:

Type: Single family
Total Living Area: 2040 sq ft.
Bedrooms: 3
Bathrooms: 2.5
Width of House: 24 ft.
Depth of House: 73 ft.
First Floor: 1058 sq. ft.
Second Floor: 982 sq. ft.
Garage Size: 2 car
Architectural Style: Traditional
Exterior: Wood
Exterior Wall Structure: 2x4 studs
Roof Framing: Stick
Roof Material: Metal or composition
Foundation: Pier, post, and beam

Informal Site Plan
524 Leigh Street
San Antonio, TX 78210

CITY OF SAN ANTONIO
DEPARTMENT OF PLANNING

06 SEP -8 AM 6:42



NOTE: NOT DRAWN TO SCALE

HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 18

HDRC CASE NO: 2006-317

IDENTIFIER:

ADDRESS: 511 Dawson

LEGAL DESCRIPTION: NCB 560 BLK 18 LOT E 44.4 FT OF S 100 FT OF 10

ZONING: "RM-4 H" Mixed Residential Historic District

PUBLIC PROPERTY:

COUNCIL DISTRICT: 2

DISTRICT: Dignowity Hill Historic District

LANDMARK:

APPLICANT: Neighborhood Services Department - John Kelly

OWNER: Sunley Smith

TYPE OF WORK: Demolition

REQUEST:

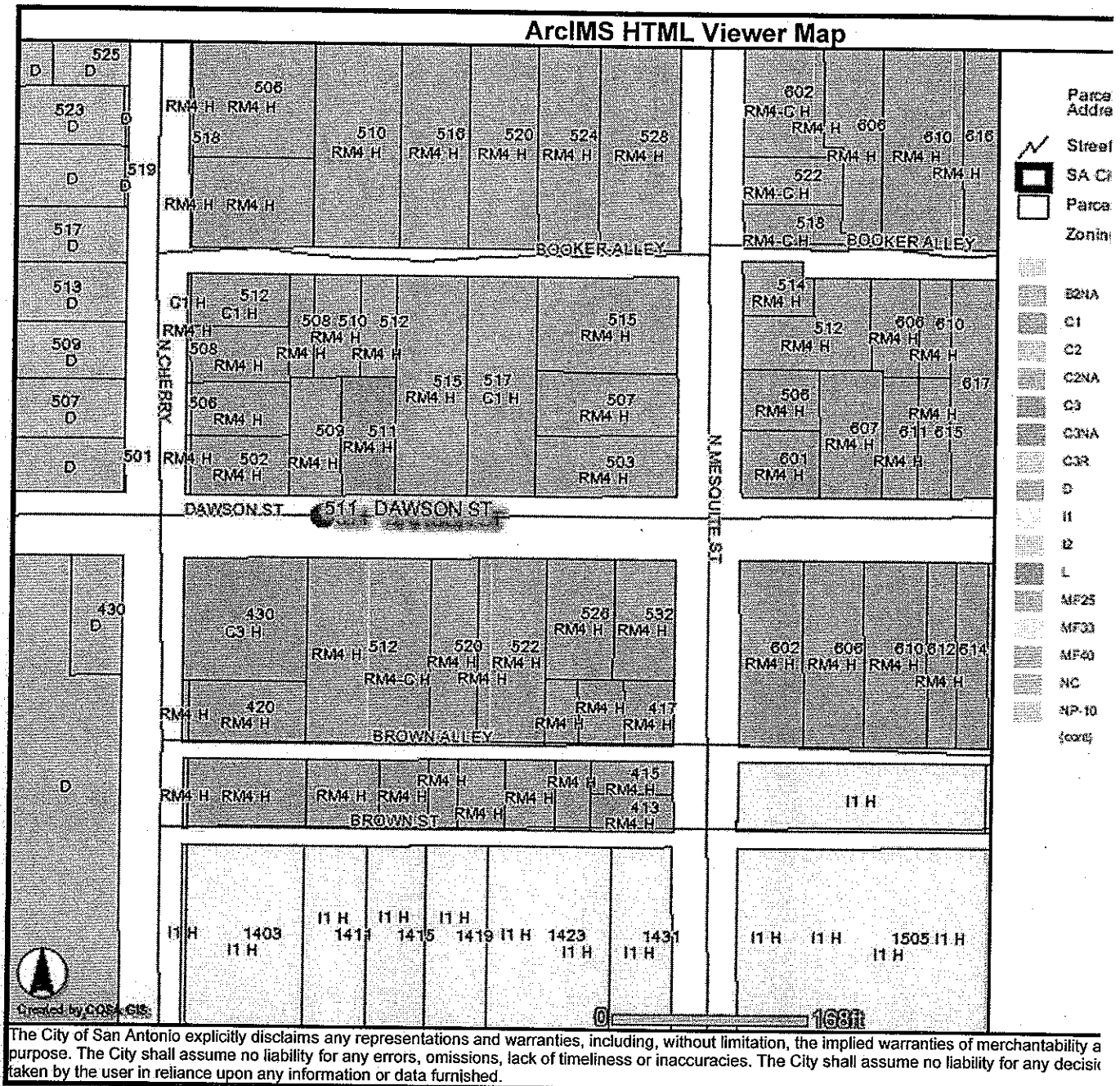
The applicant is requesting a Certificate of Appropriateness for Final Approval to demolish a house at 511 Dawson.

The accompanying exhibits provide additional information.

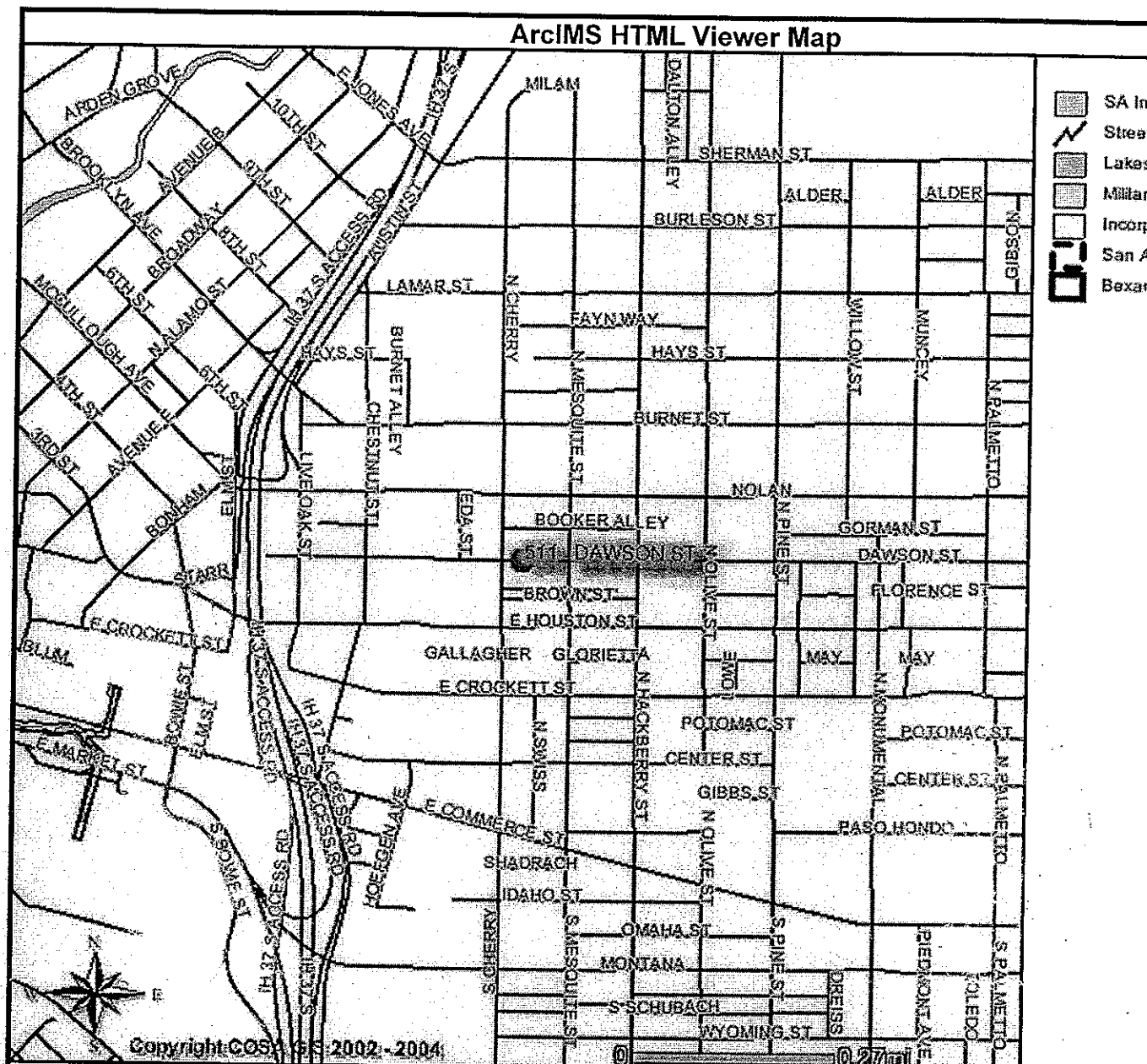
RECOMMENDATION:

Staff recommends denial. Also, staff recommends a demolition committee meeting to meet on-site to understand the reasons for this request and to work for an alternative to demolition.

CASE COMMENTS:



#1



* WITHIN DIGNOWITY HILL

* FAIR CONDITION

* BACK TAPES OF #17,483.77 DUE

511 Dawson St 20428740

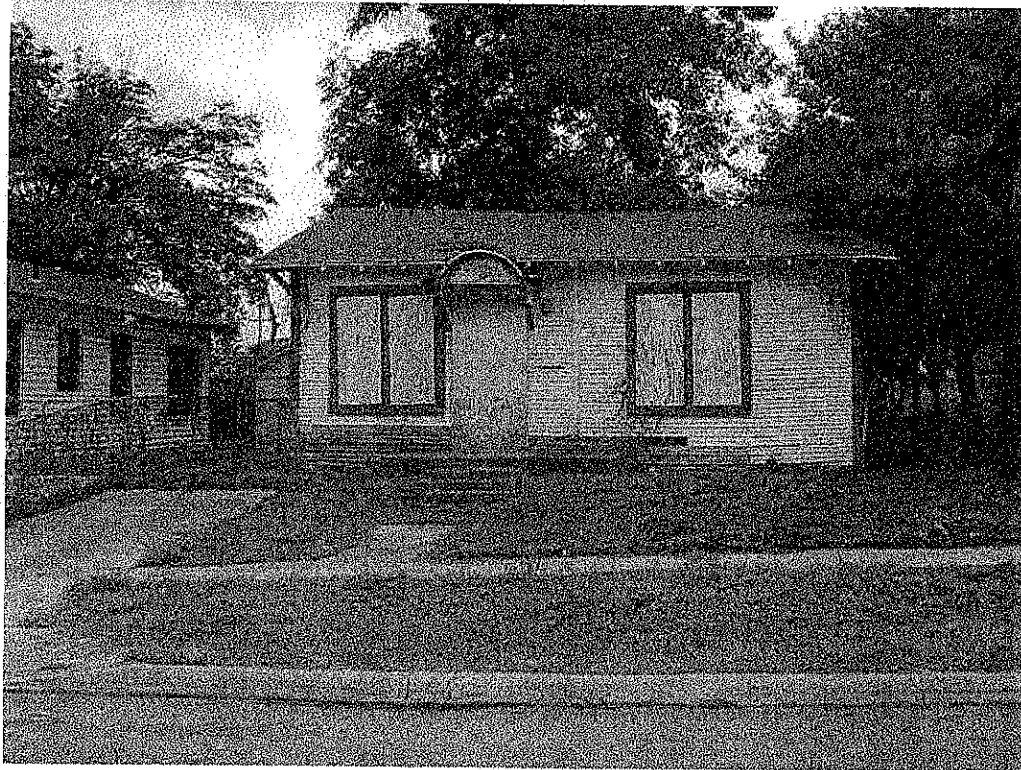
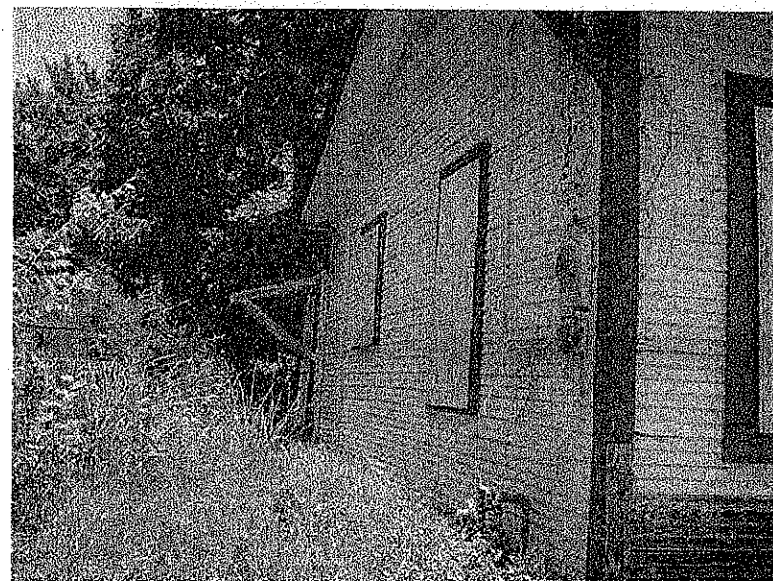
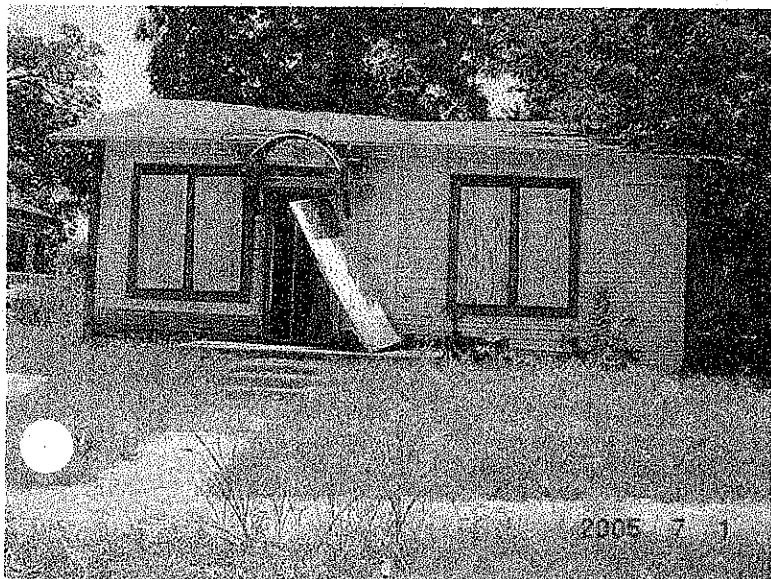
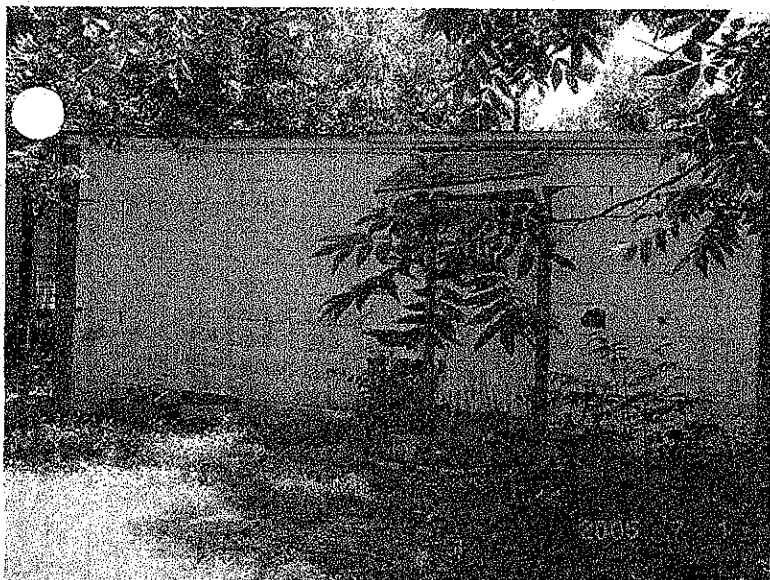


Photo taken by J. Kelly, #680

•Date of photo 8/14/03



511 Dawson St #20707497 DSDB File Photos 07-01-05 R. Zertuche #622



HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 19

HDRC CASE NO: 2005-085

IDENTIFIER:

ADDRESS: 735 East Guenther Street

LEGAL DESCRIPTION: NCB 2882, Block 7, the NE irregular 116.4 feet of Lot 8 and the NE irregular 113.4 feet of Lot 9

ZONING: "RM-4 H HS RIO-4" Mixed Residential, Historic District,

PUBLIC PROPERTY: Historic Significant, River Improvement Overlay District 4

COUNCIL DISTRICT: 1

DISTRICT: King William Historic District, RIO-4

LANDMARK: Wehrhan House - Significant

APPLICANT: Sprinkle Robey Architects, Alan Neff

OWNER: Sandra Cisneros

TYPE OF WORK: New Construction

REQUEST:

The applicant is requesting a Certificate of Appropriateness for Final Approval to revise the design of a previously approved all steel roof trellis to a proposed steel, cedar joists and standing seam metal roof which more closely relates to and matches the other porch covers on the building. The accompanying exhibits provide additional information.

RECOMMENDATION:

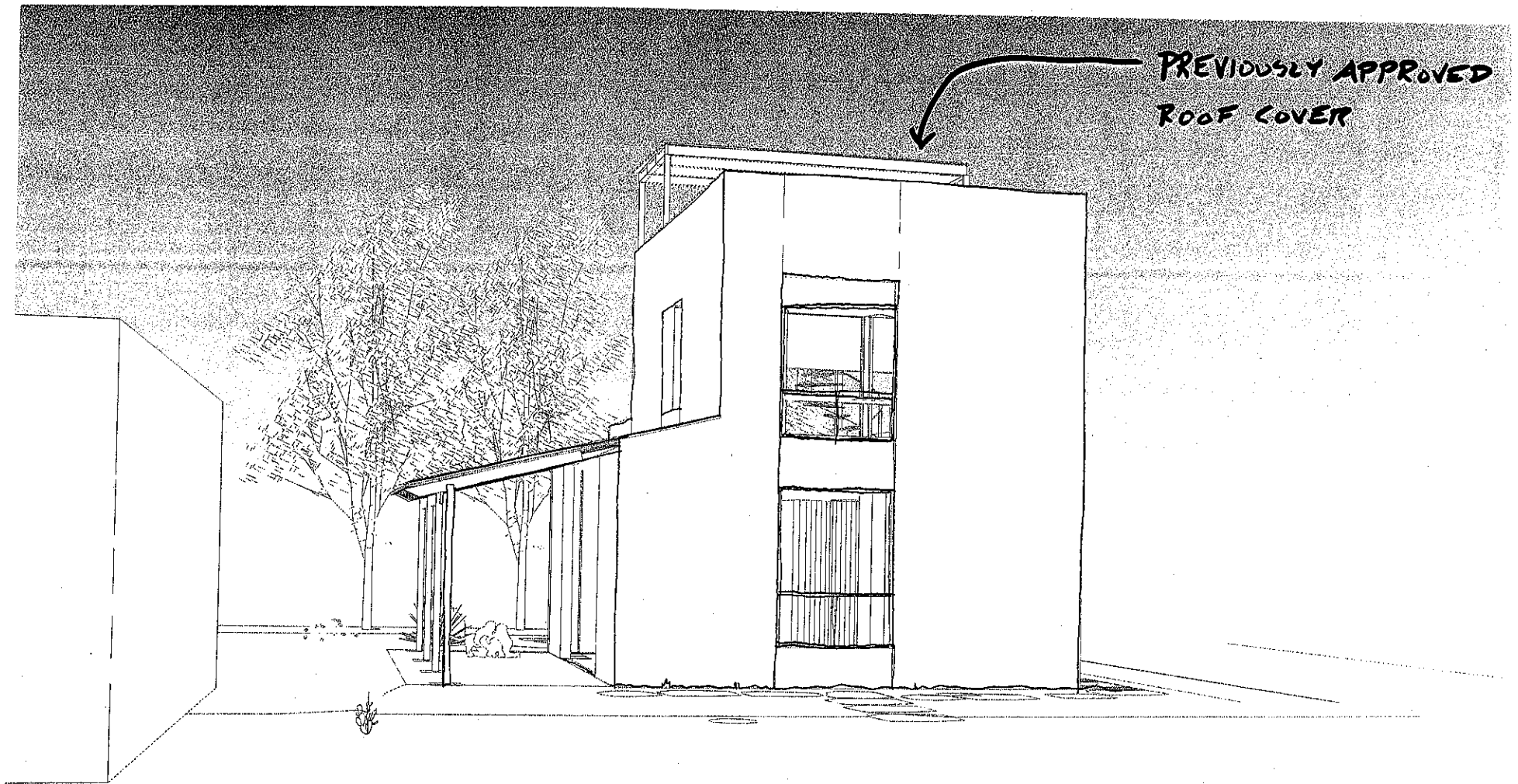
The staff recommends denial of this request as submitted. The proposed increase in roof height of this 2 story building is too high and inappropriate as it relates to other small homes in this district.

CASE COMMENTS:

On May 4, 2005 the HDRC approved construction of this accessory building on the property.

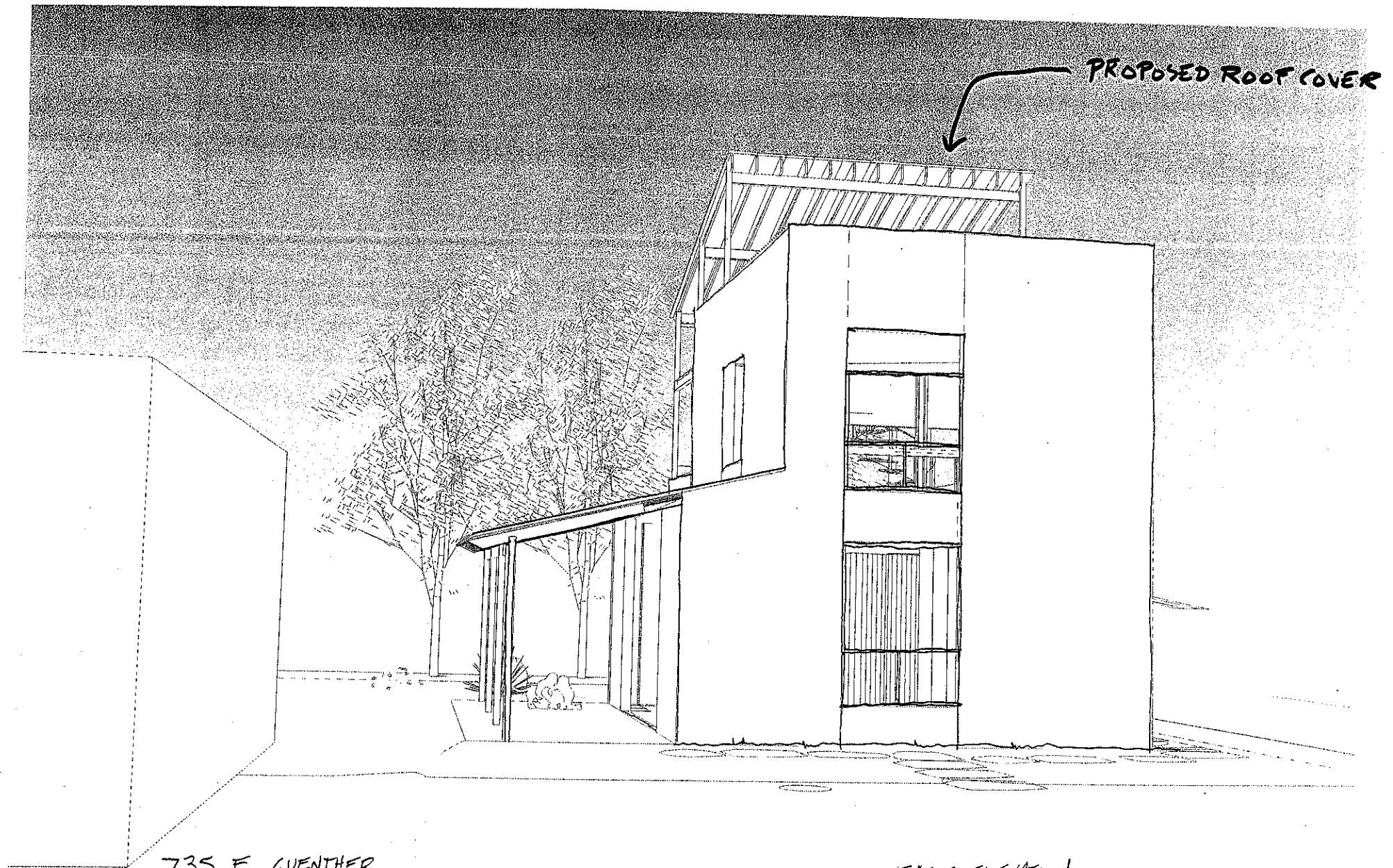






735 E. GÜENTHER
BUILDING 2

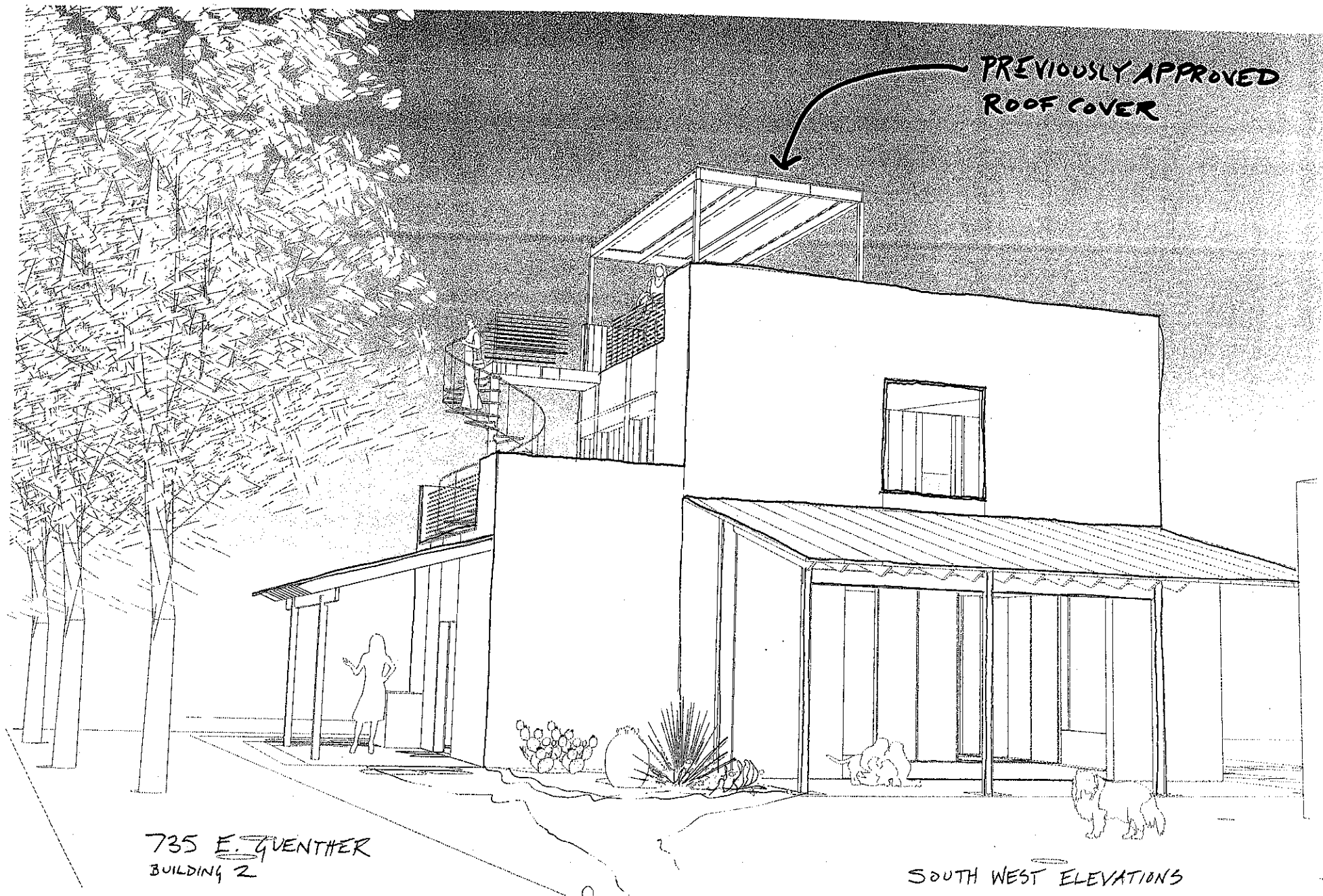
EAST ELEVATION



PROPOSED ROOF COVER

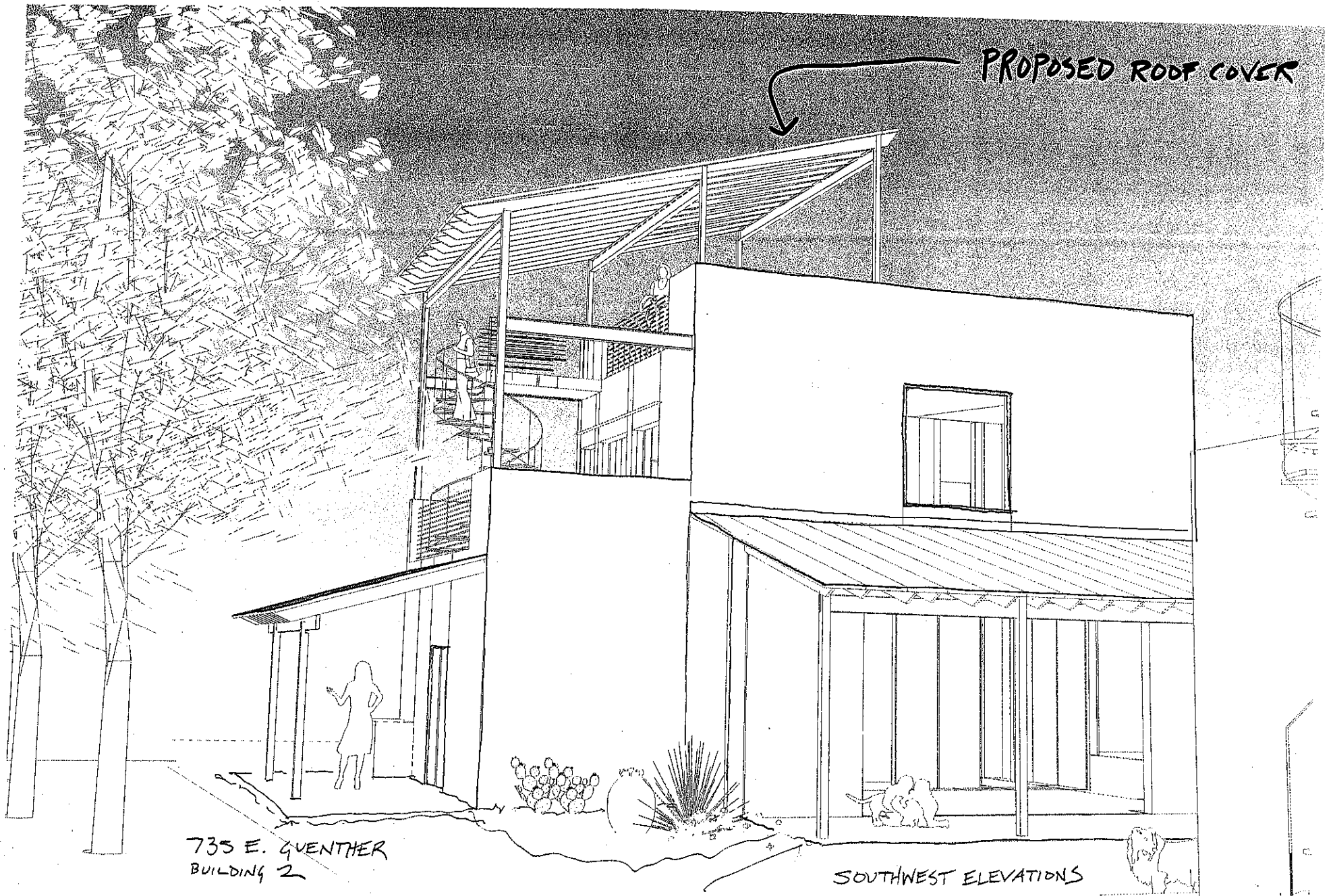
735 E. GÜENTHER
BUILDING 2

EAST ELEVATION



735 E. QUENTNER
BUILDING 2

SOUTH WEST ELEVATIONS



735 E. QUENTNER
BUILDING 2

SOUTHWEST ELEVATIONS

HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No:

20

HDRC CASE NO: 2006-318

IDENTIFIER:

ADDRESS: 735 East Guenther Street

LEGAL DESCRIPTION: NCB 2882, Block 7, the NE irregular 116.4 feet of Lot 8 and the NE irregular 113.4 feet of Lot 9

ZONING: "RM-4 H HS RIO-4" Mixed Residential, Historic District,

PUBLIC PROPERTY: Historic Significant, River Improvement Overlay District 4

COUNCIL DISTRICT: 1

DISTRICT: King William Historic District, RIO-4

LANDMARK: Wehrhan House - Significant

APPLICANT: Sprinkle Robey Architects, Alan Neff

OWNER: Sandra Cisneros

TYPE OF WORK: New Construction

REQUEST:

The applicant is requesting a Certificate of Appropriateness for conceptual approval to:

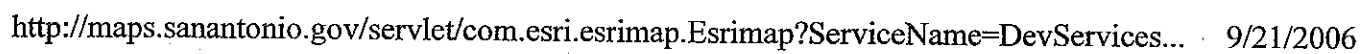
- 1) Demolish an existing wood deck and cover.
- 2) Construct a one room adaptation on the rear of the property. The addition will include a flat roof terrace, spiral staircase and exterior porch.
- 3) Construct a small soaking tub and landscape improvements.

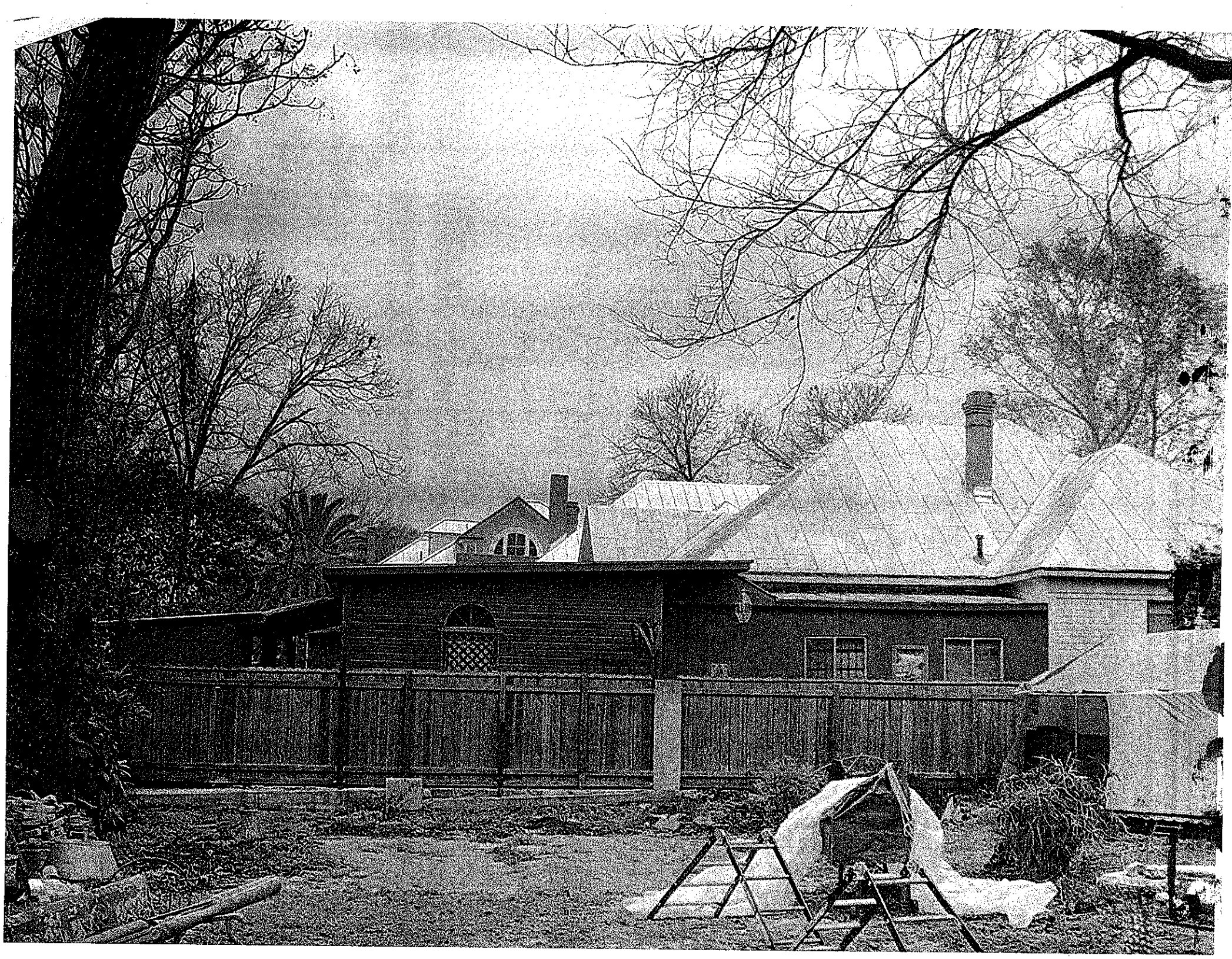
The accompanying exhibits provide additional information.

RECOMMENDATION:

The staff recommends approval of items 1 and 3 and denial of Item 2, the one room addition. The proposed contemporary addition does not relate to the character of the main house and is architecturally and esthetically inappropriate for the property and the district.

CASE COMMENTS:

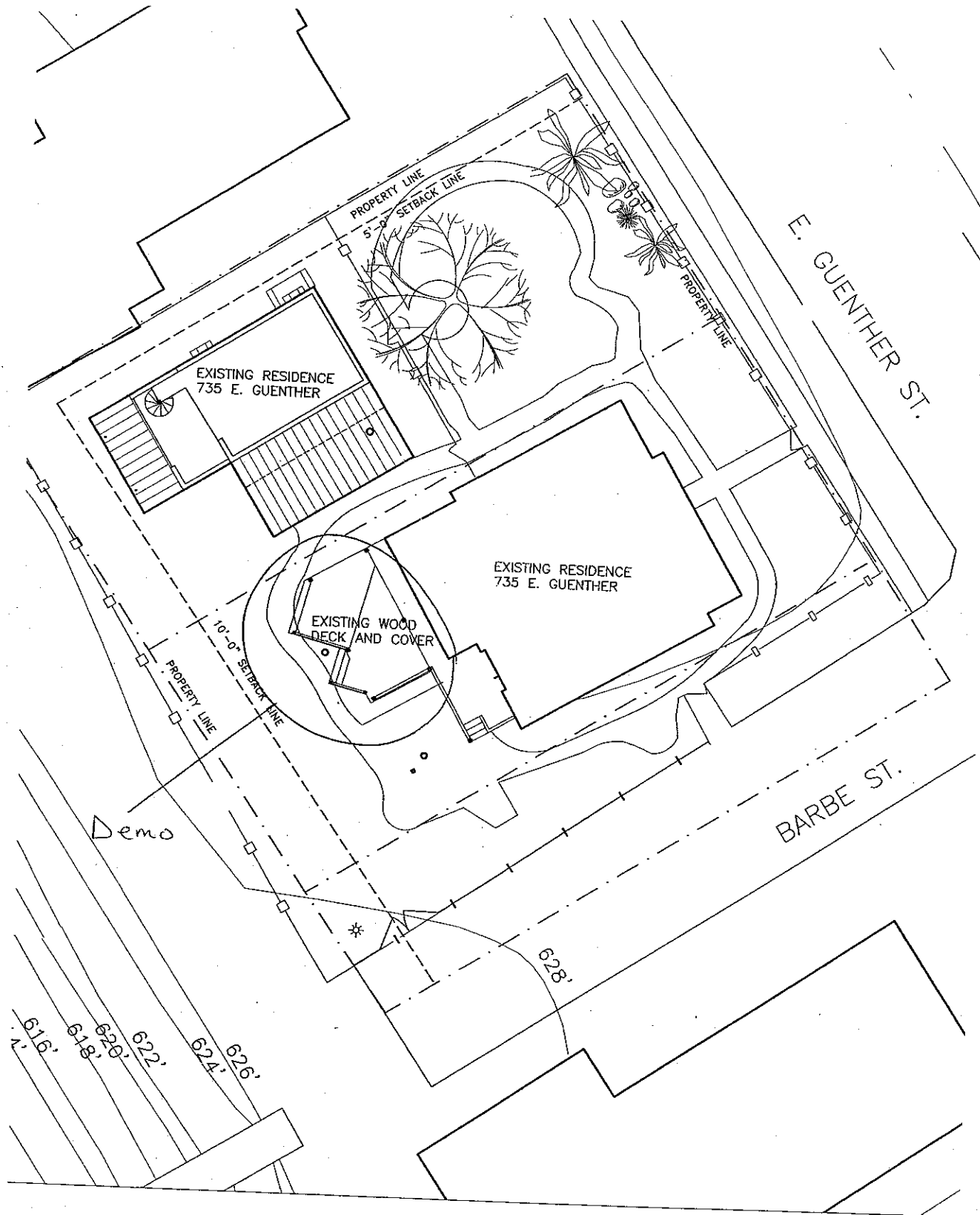




EXISTING WOOD
PORCHES, COVERS,
AND LATTICE-WORK
TO BE REMOVED
PER NEW DESIGN.



SOUTH ELEVATION
EXISTING HOUSE
FROM BARBE (ALLEY PKG)



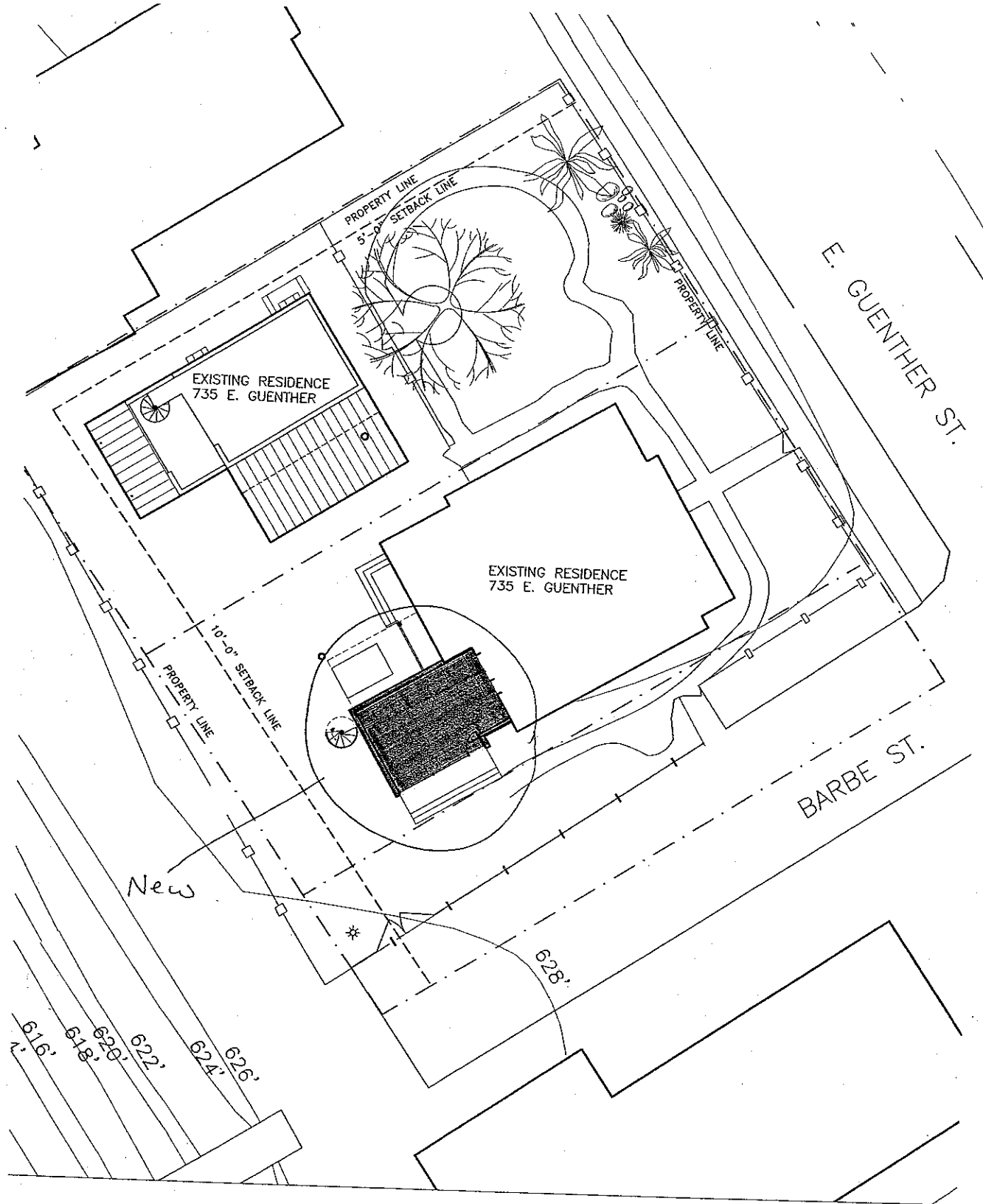
existing site plan



room addition to 735 E. Guenther- house

sprinkle robey architects

September 19, 2006



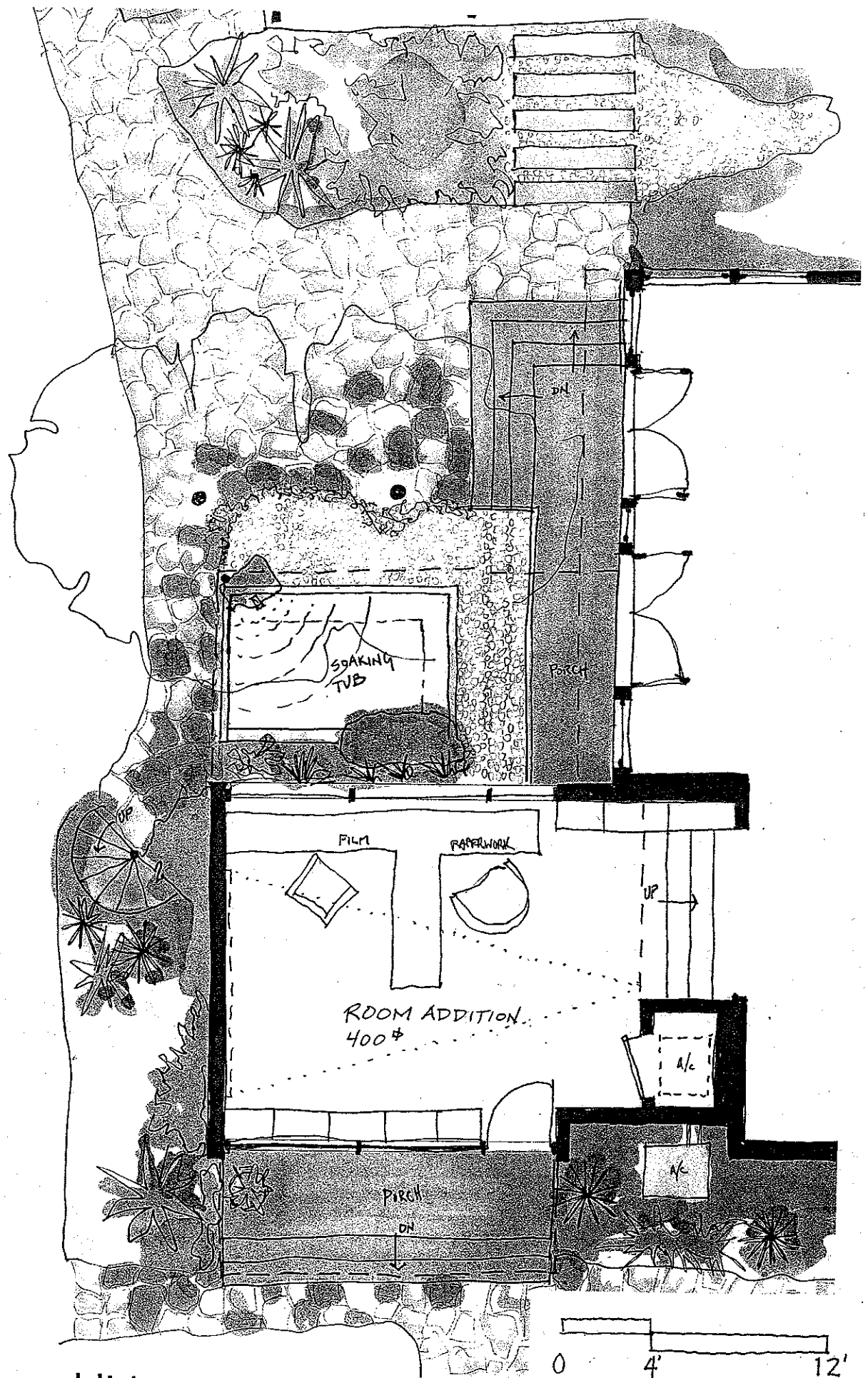
proposed site plan



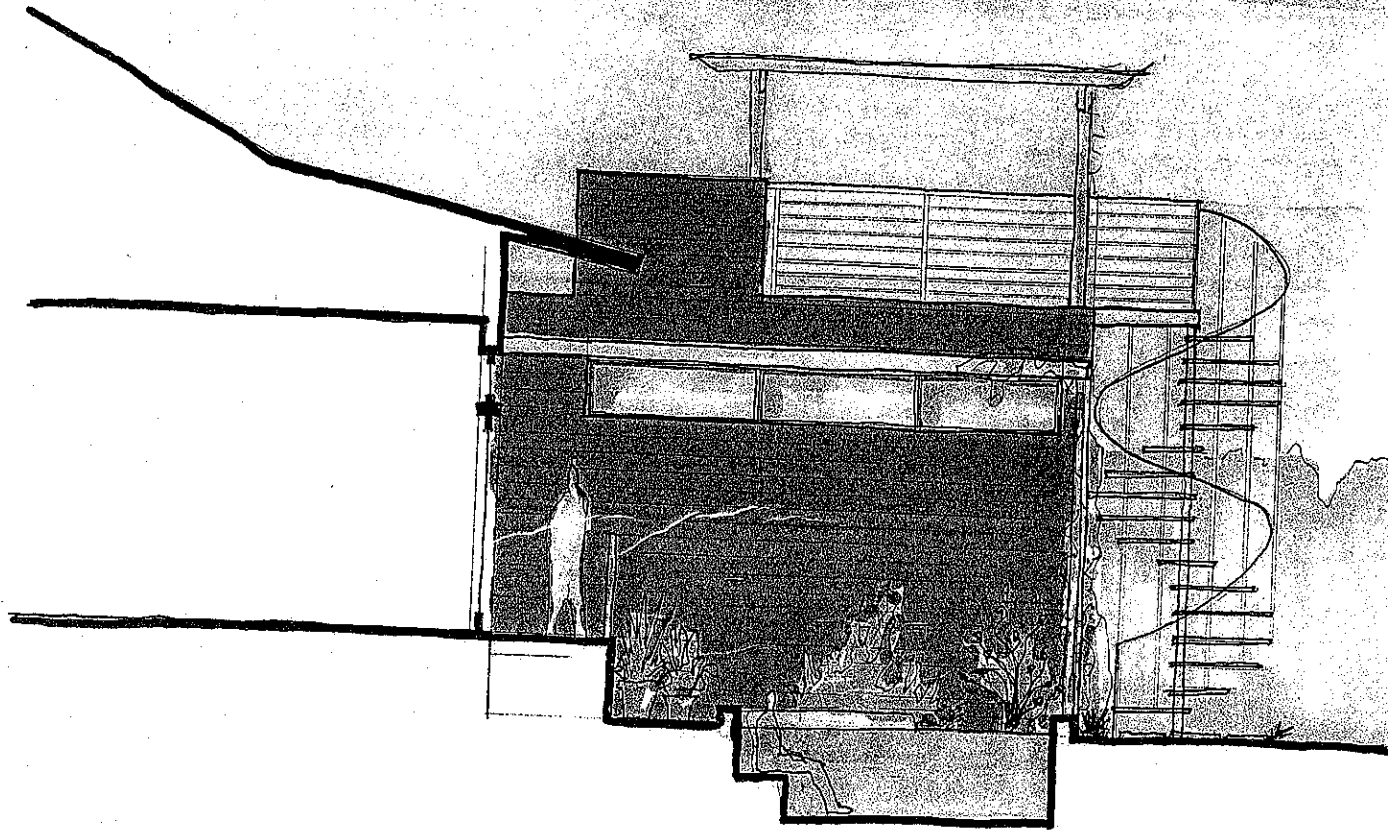
room addition to 735 E. Guenther- house

sprinkle robey architects

September 19, 2006



room addition to 735 East Guenther- house

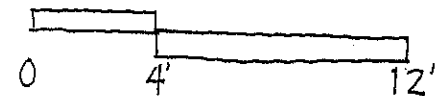


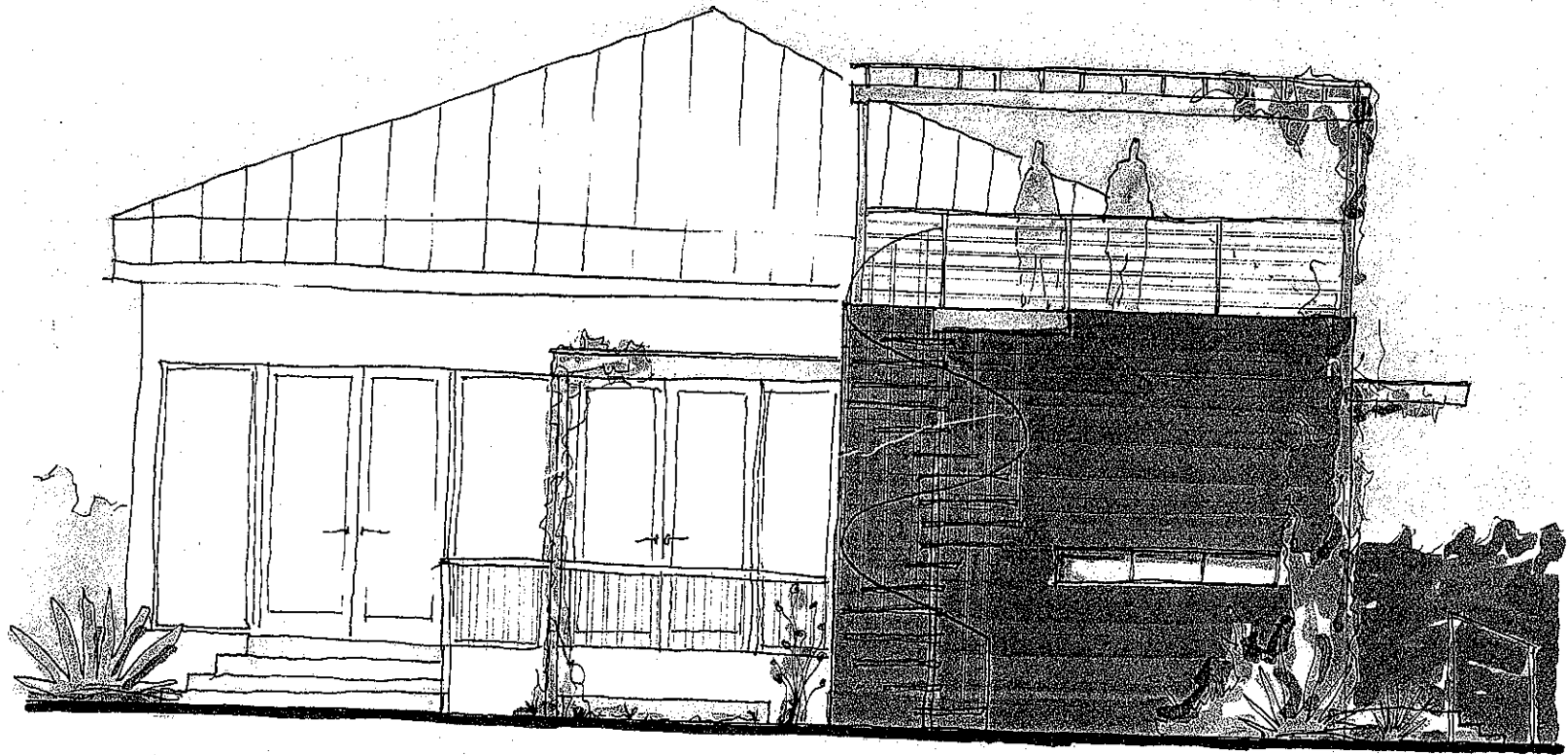
north elevation

room addition to 735 East Guenther- house

sprinkle robey architects

Septembet 19, 2006



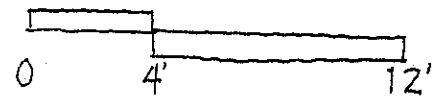


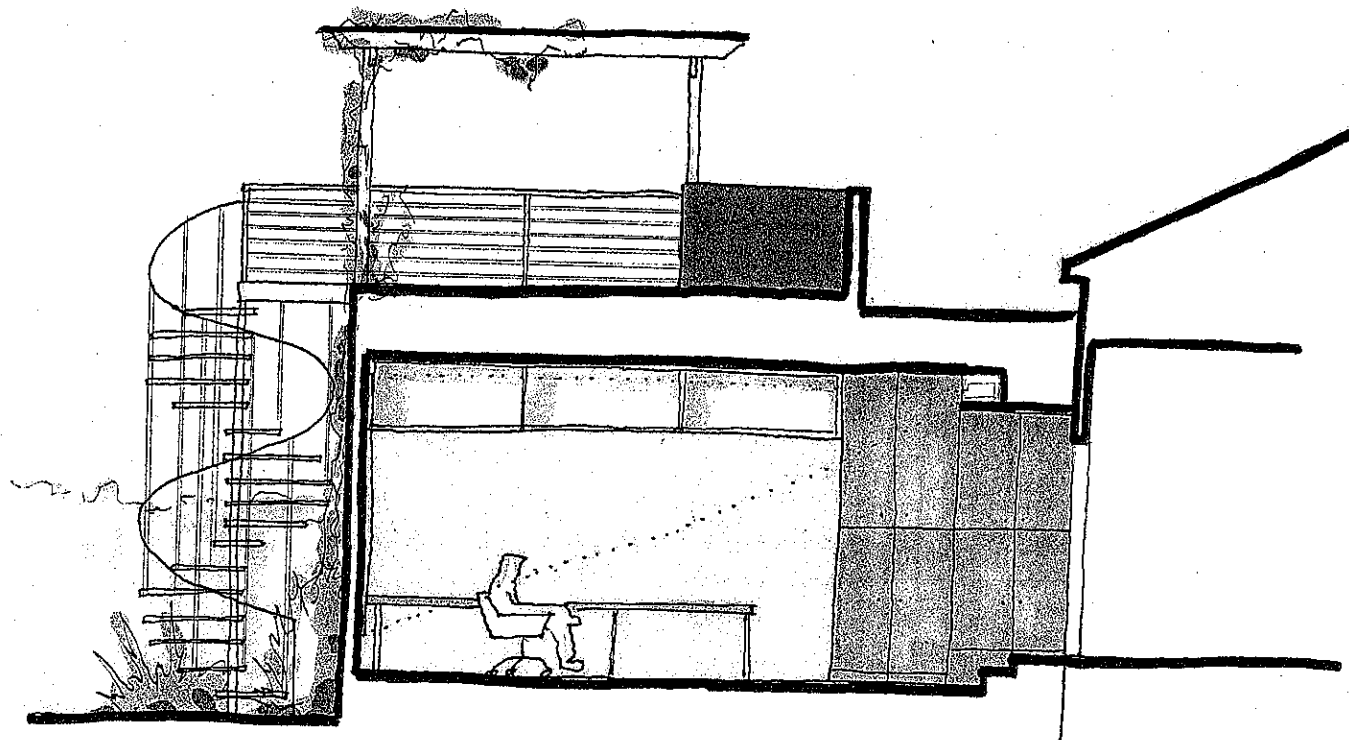
west elevation

room addition to 735 East Guenther- house

sprinkle robey-architects

Septembet 19, 2006



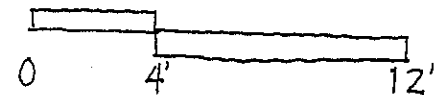


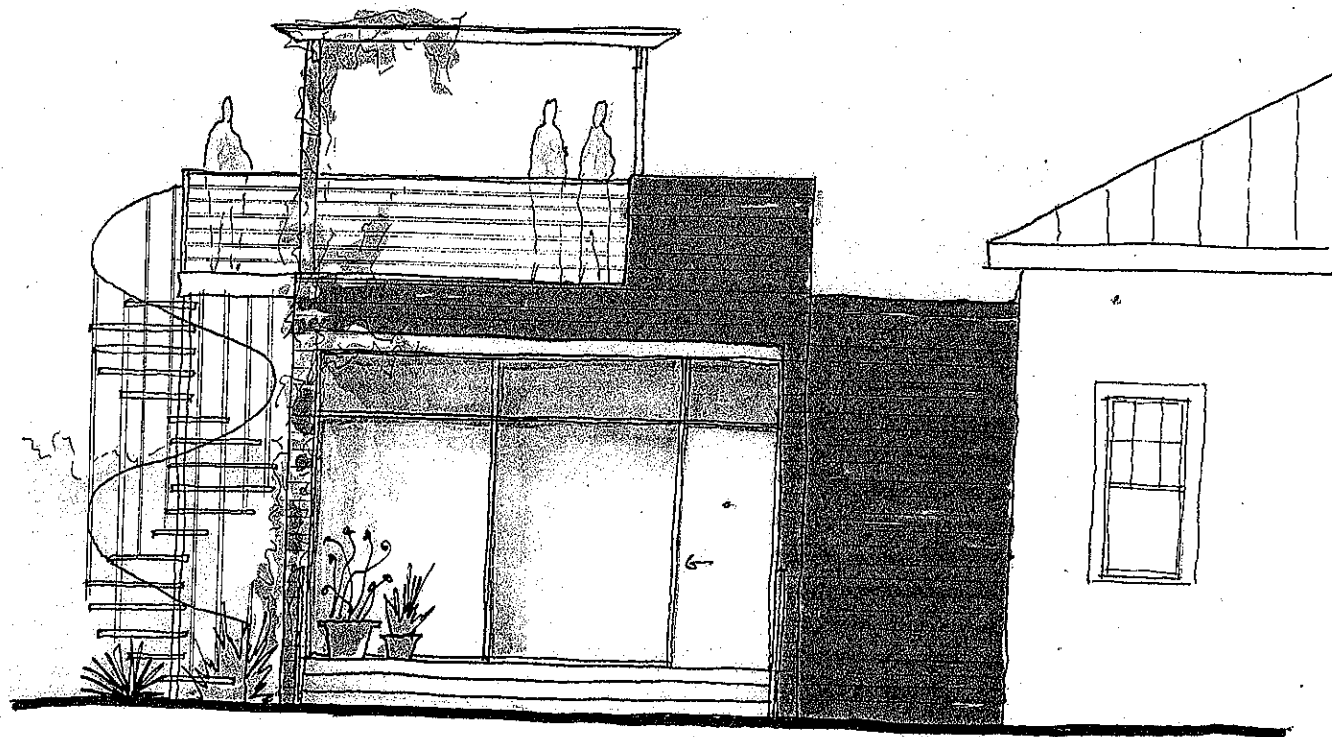
section

room addition to 735 East Guenther- house

sprinkle robey architects

September 19, 2006



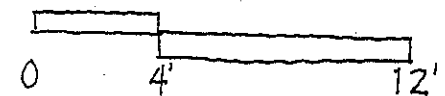


south elevation

room addition to 735 East Guenther- house

sprinkle robey architects

Septembet 19, 2006



HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 21

HDRC CASE NO: 2006-319

IDENTIFIER:

ADDRESS: 121 Cedar Street

LEGAL DESCRIPTION: NCB 935 BLK B LOT 4

ZONING: "C3 H HE" Commercial, Historic District, Historic Exceptional

PUBLIC PROPERTY:

COUNCIL DISTRICT: 1

DISTRICT: King William Historic District

LANDMARK: Hugo Griesenbeck House

APPLICANT: Mary Nethery

OWNER: James Keller

TYPE OF WORK: Re-roof, Fencing

REQUEST:

The applicant is requesting a Certificate of Appropriateness for Final Approval to:

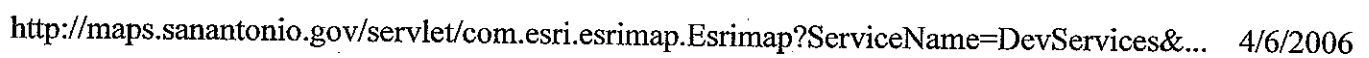
- 1) Remove shed roofs on the existing house and replace with hip roofs
- 2) Build a privacy plaster wall with stone cap.

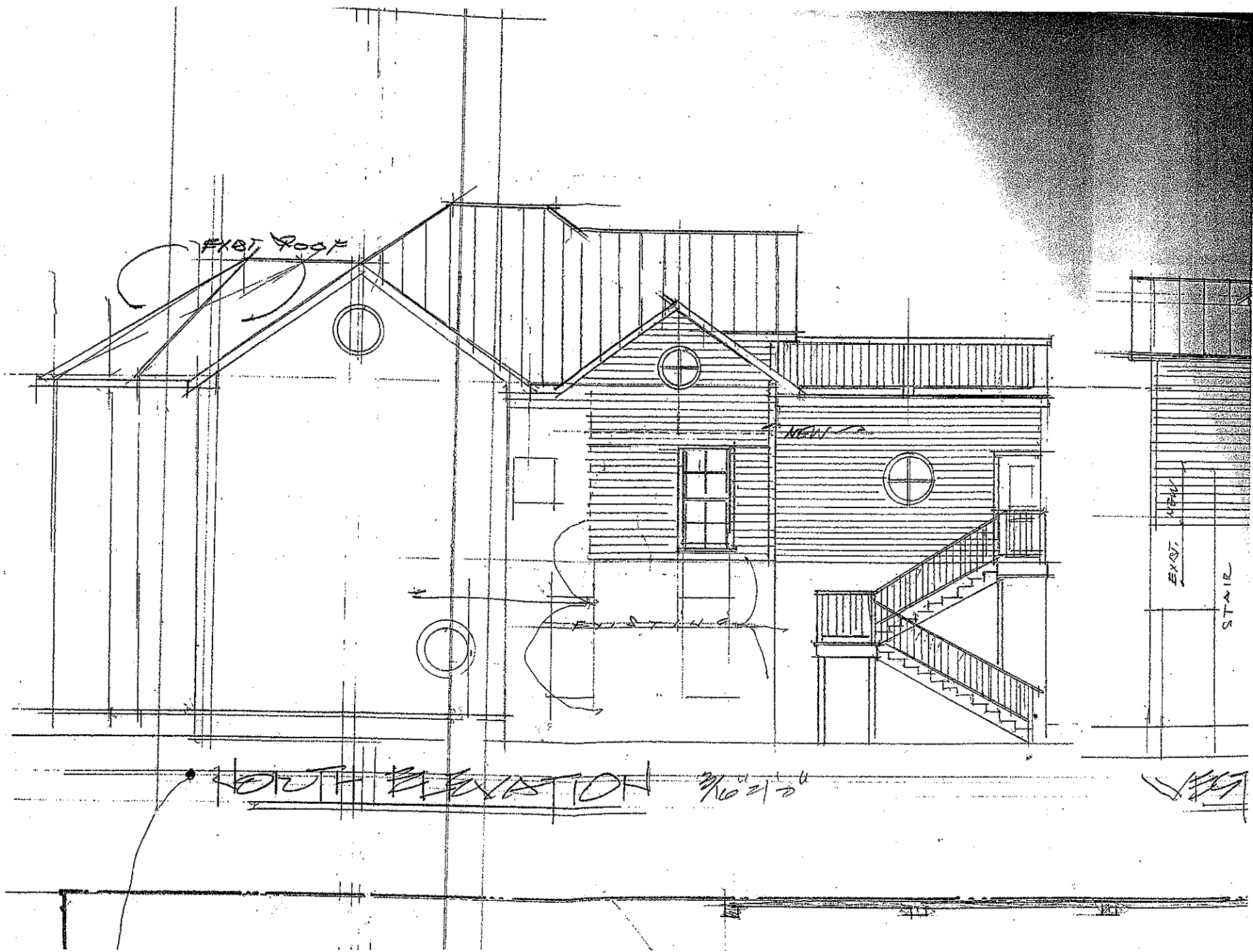
The accompanying exhibits provide additional information.

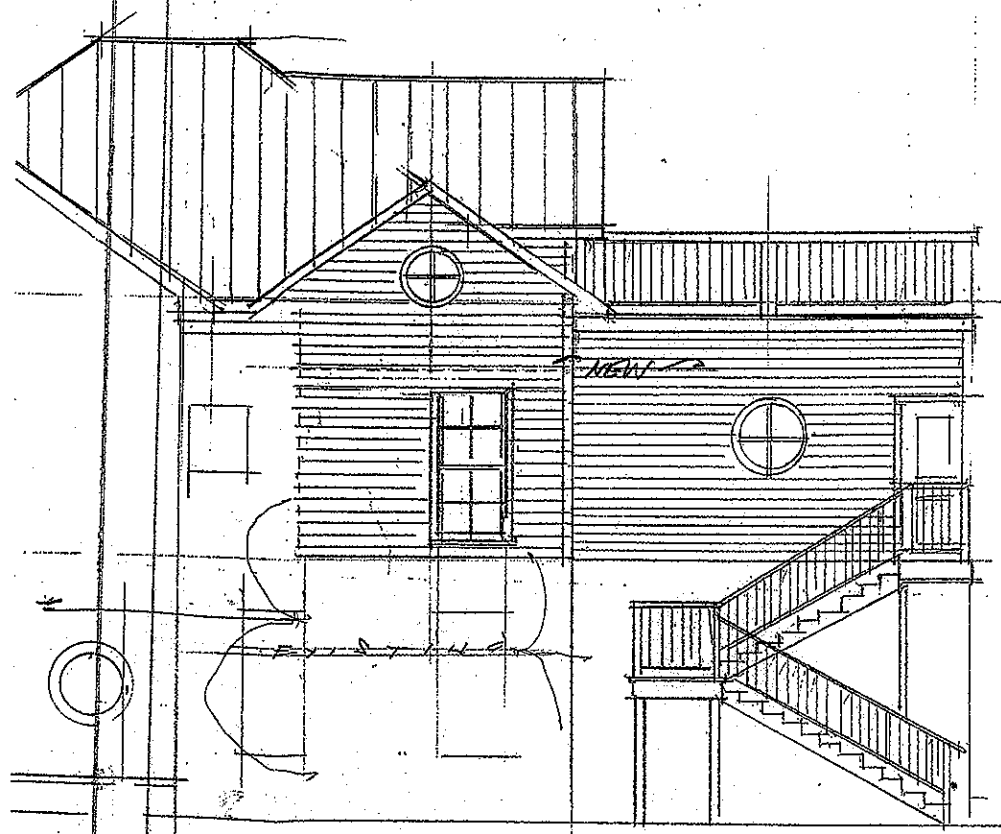
RECOMMENDATION:

The staff recommends approval of this request as submitted. The proposed changes are architecturally and esthetically appropriate for their setting and will have no adverse effects on the property or the district.

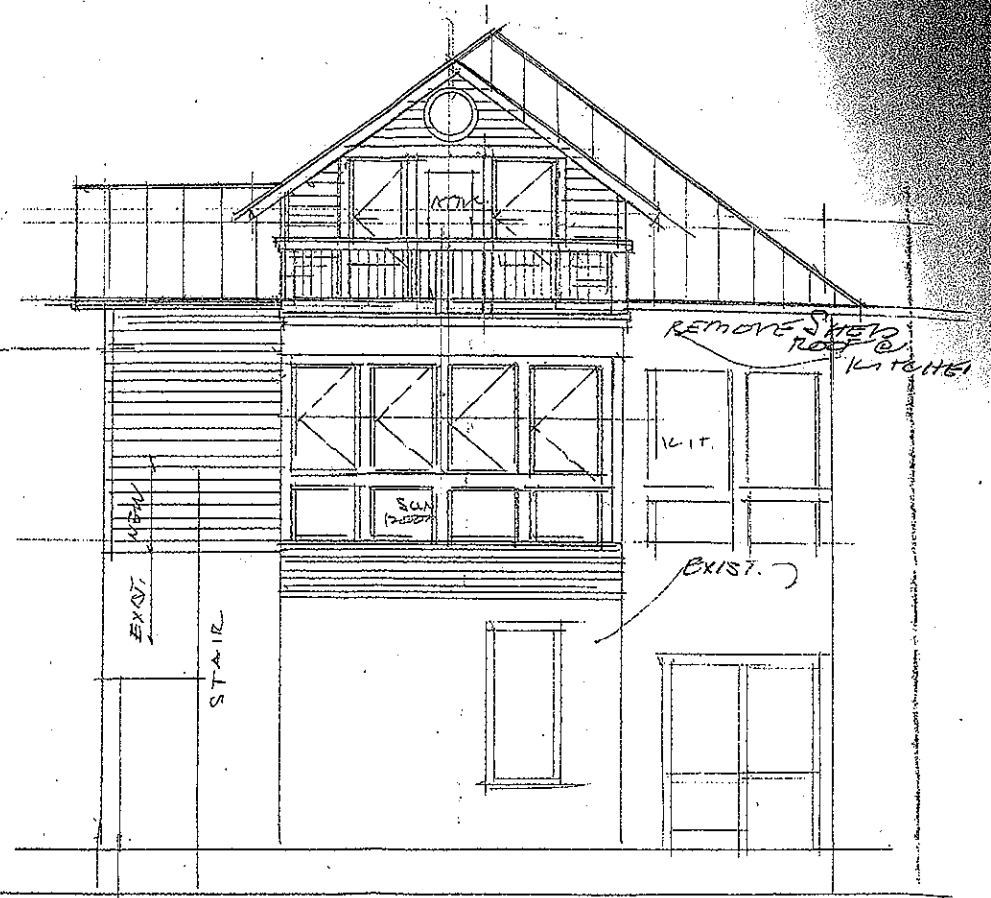
CASE COMMENTS:



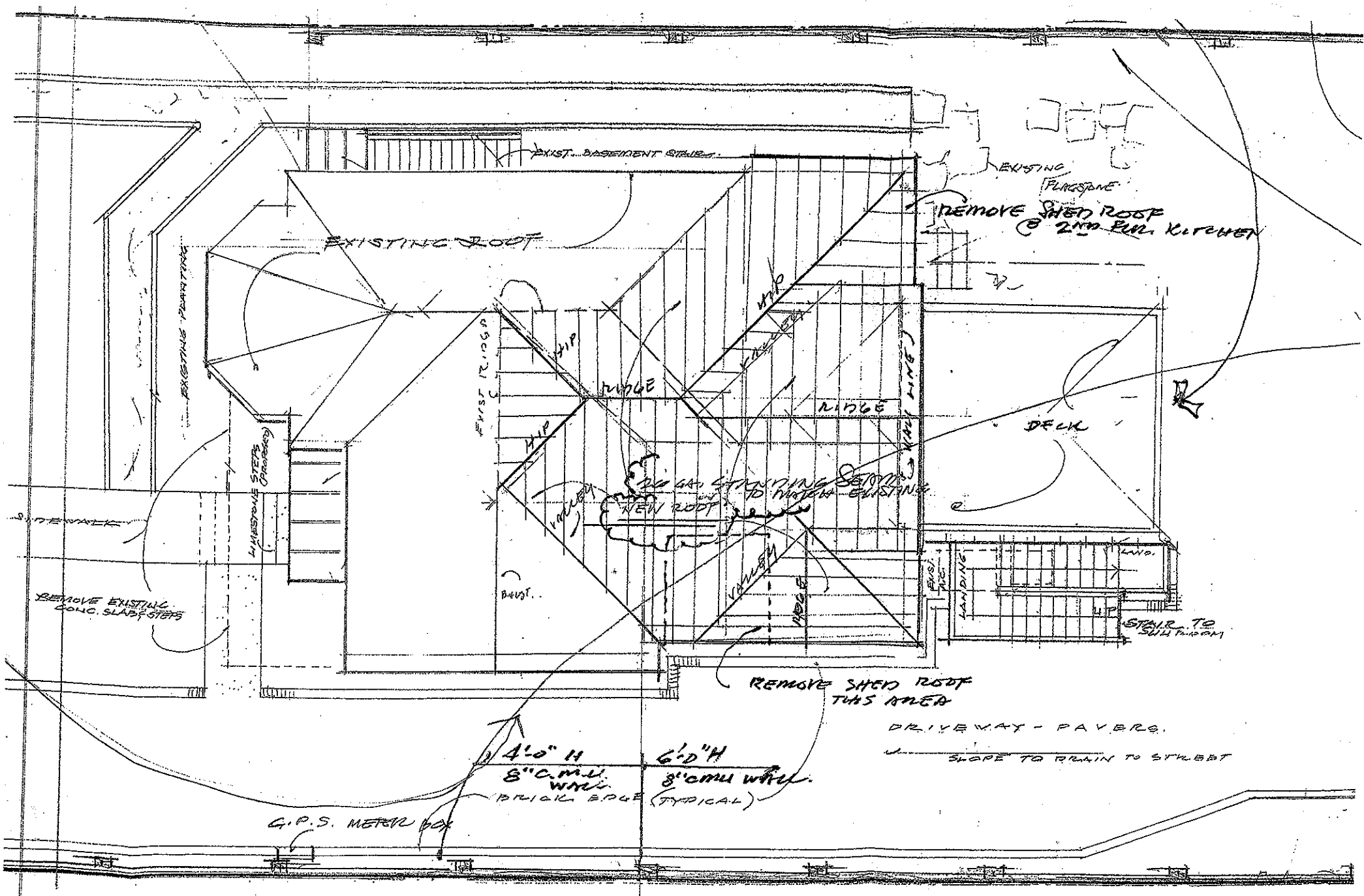


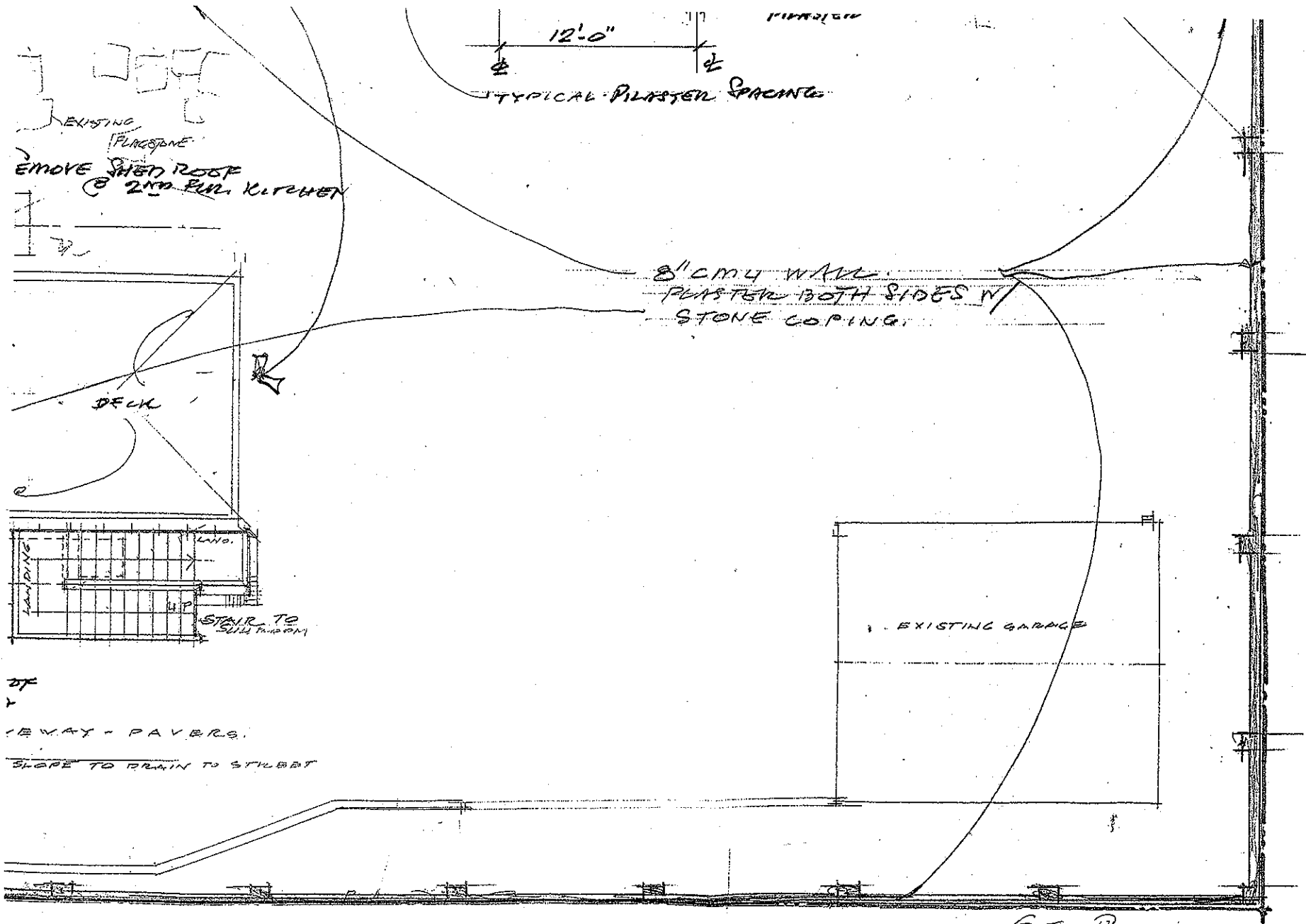


ELEVATION 3/16" = 1'-0"



WEST ELEVATION 3/16" = 1'-0"





DATE & DOOR PLAN



HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 22

HDRC CASE NO: 2006-320
IDENTIFIER:
ADDRESS: 301 Barrera
LEGAL DESCRIPTION: NCB 714 BLK 11 LOT S 80.9 FT OF 1
ZONING: "RM-4 H"
PUBLIC PROPERTY:
COUNCIL DISTRICT: 1
DISTRICT: Lavaca Historic District
LANDMARK:
APPLICANT: Sunita & Sandeep Patel
OWNER: Same
TYPE OF WORK: Renovation

REQUEST:

The applicant is requesting a Certificate of Appropriateness for Final Approval to renovate the house to include

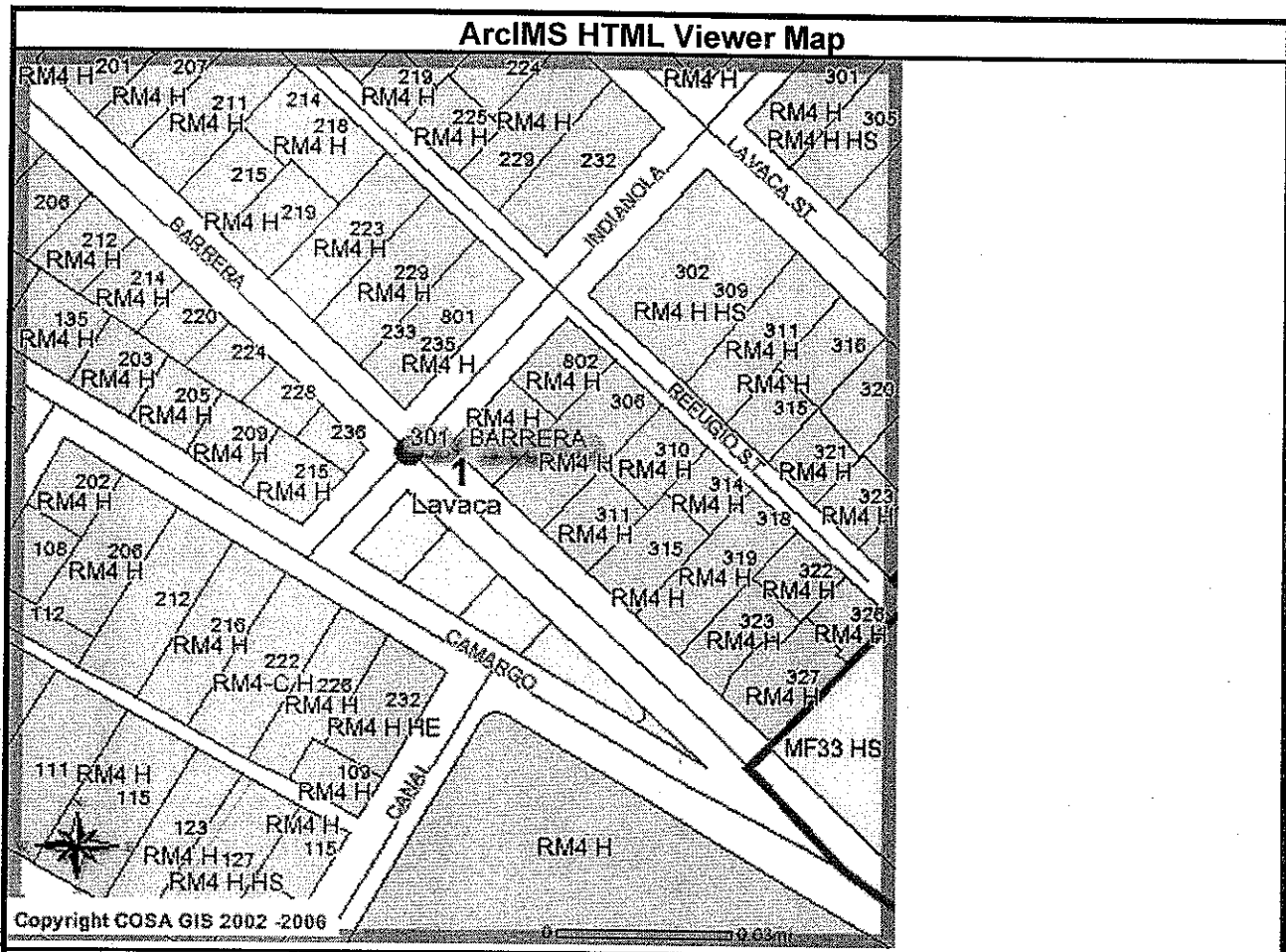
- 1) Replace a metal roof with a new metal roof,
- 2) Replace the porch, repair/replace rotted wood, replace wiring, plumbing and add air conditioning.
- 3) Level the foundation
- 4) Increase roof height
- 5) Add rear addition
- 6) Windows and doors to be repaired instead of replaced.

The accompanying exhibits provide additional information.

RECOMMENDATION:

The staff recommends approval of this request as submitted with the following stipulations: the windows and doors be repaired instead of replaced and the porch columns should be a larger 6 x 6 inch column . The proposed changes are architecturally and esthetically appropriate for their setting and will have no adverse effects on the property or the district.

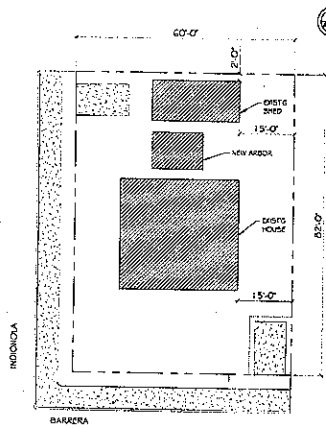
CASE COMMENTS:



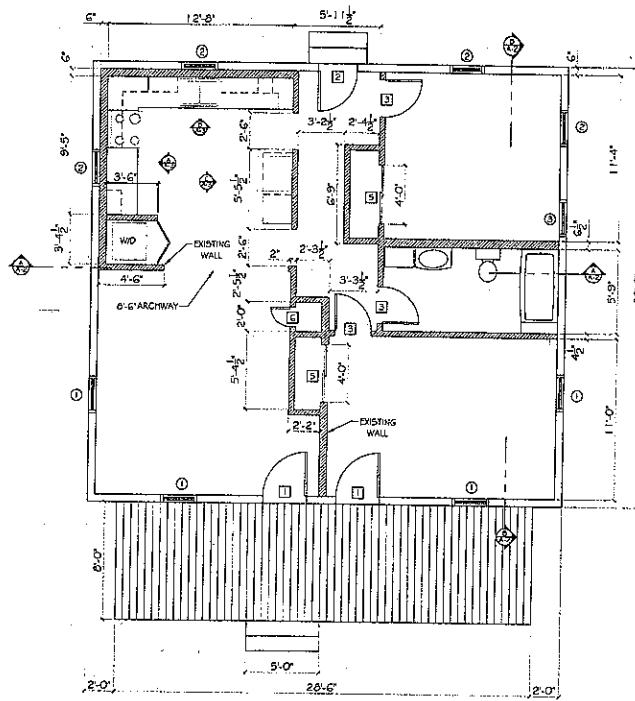
RESTORATION BARRERA ~~UPGRADE~~

INDEX OF DRAWINGS

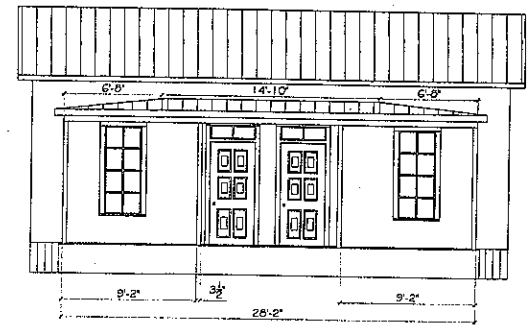
A-1	SITE PLAN DEMOLITION PLAN FLOOR PLAN FRONT PORCH	A-2	STRUCTURAL SECTIONS PORCH SECTION	A-3	KITCHEN ELEVATIONS ARBOR PLAN & DETAILS DOOR & WINDOW SCHEDULE	M/E-1	MECHANICAL PLAN ELECTRICAL PLAN	M/E-2	AIR CONDITIONER SCHEDULE AIR DEVICE SCHEDULE
-----	---	-----	--------------------------------------	-----	--	-------	------------------------------------	-------	---



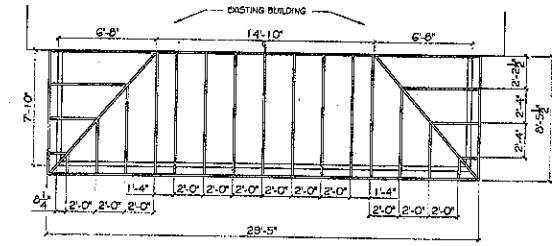
LEGAL DESCRIPTION: 301 BARRERA
BLOCK 11
LOT: 5
PARCEL: NCD 714



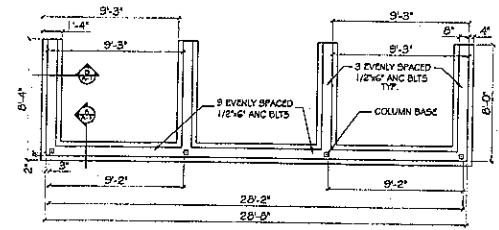
FLOOR PLAN
SC: 1/4" = 1'-0"



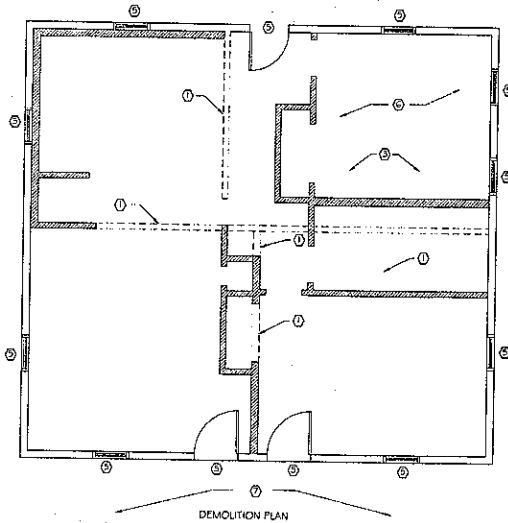
FRONT ELEVATION
SC: 1/4" = 1'-0"



ROOF FRAMING
SC: 1/4" = 1'-0"



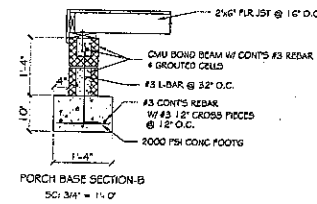
CMU AND FOOTING PLAN
SC: 1/4" = 1'-0"



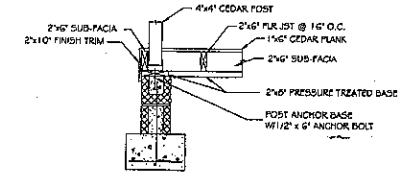
DEMOLITION NOTES:

- ① SECTIONS OF THE ORIGINAL EXISTING WALLS TO BE REMOVED
- ② SECTIONS EXISTING FLOOR TO BE REMOVED TO GAIN ACCESS TO UNDER STRUCTURE
- ③ EXISTING PARTITION (BATH ROOM AND STORAGE) TO BE REMOVED
- ④ ALL WALL AND CEILING COVER TO BE REMOVED
- ⑤ ALL EXISTING WINDOWS AND WILL BE REPLACED
- ⑥ THE EXISTING SHED ROOF AND UNDER STRUCTURE IS TO BE REPLACED
- ⑦ REMOVE THE ENTIRE FRONT PORCH AND DECK

LEGEND ORIGINAL EXISTING WALLS ---
NEW WALL PARTITION

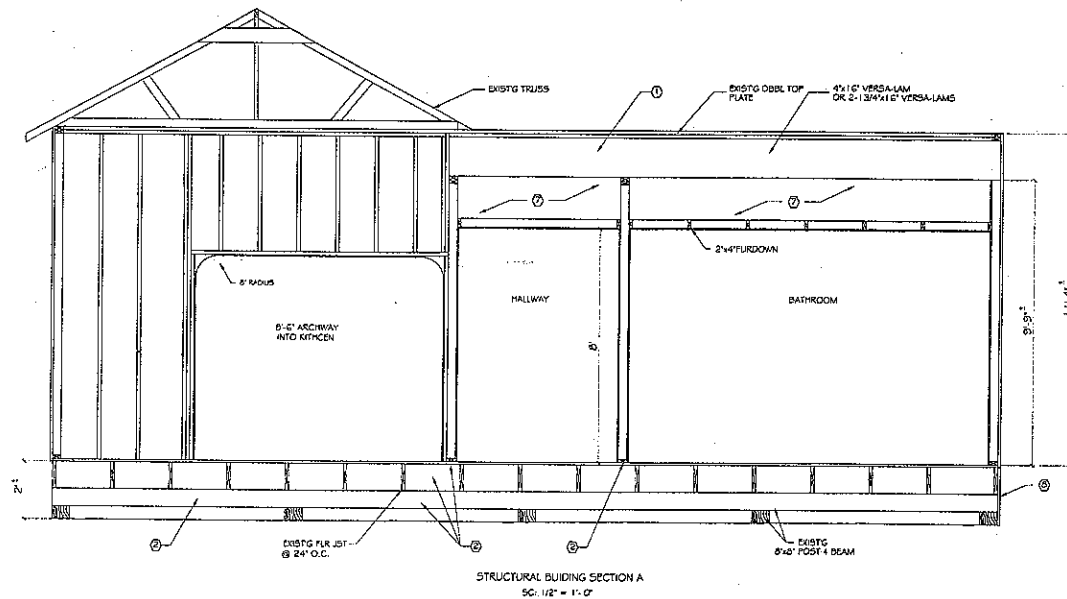


PORCH BASE SECTION-B
SC: 3/4" = 1'-0"

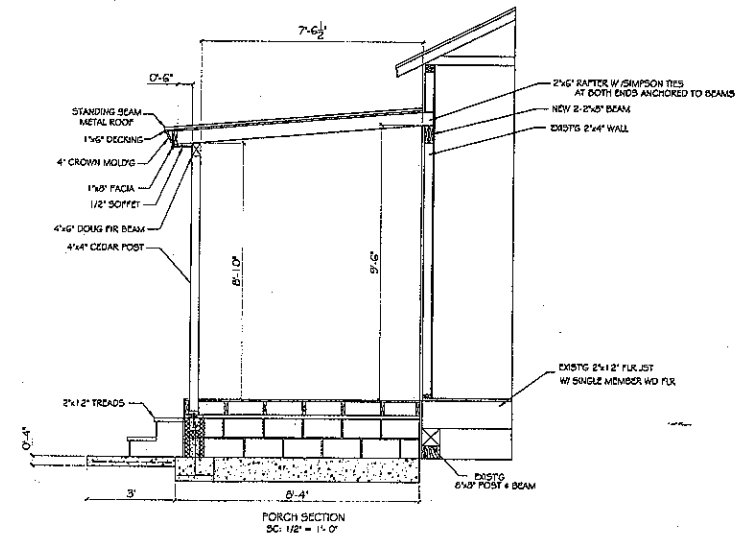
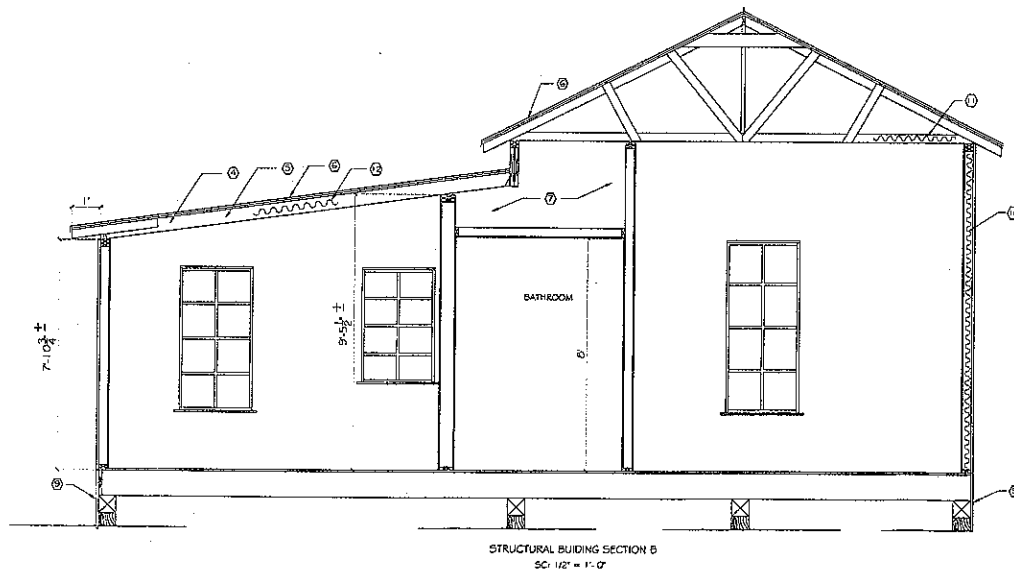


PORCH BASE SECTION-A
SC: 1/2" = 1'-0"

PROJECT: BARRERA UPGRADE OWNERS: SUNITA & SANDHEP PATEL DSG BY: IRA VENTURES
301 BARRERA 6711 CINNAMON CREEK #1810
SAN ANTONIO, TEX 78240



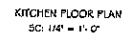
- SECTION NOTES:
- ① THE VERSA-LAM IS TO BE PLACED UNDER THE EXISTING DOUBLE TOP PLATE.
 - ② VERTICAL RE-INFORCEMENT SHOULD BE PLACED UNDER THE VERSA-LAM IN THE WALL PARTITIONS AND IN THE UNDER STRUCTURE (CRAM) SPACE.
 - ③ EXISTING DBL. TOP
 - ④ 2x6 Rafter w/ 2x4 Rafter Tail WITH JOIST HANGER AT VERSA-LAM BEAM AND SIMPSON TIE @ DBL. TOP PLATE
 - ⑤ THE EXISTING SHED ROOF APPEARS TO BE COMPOSED OF 2x4 RAFTERS AND NEED TO BE TO CODE FIELD VERIFY
 - ⑥ NEW METAL ROOF
 - ⑦ VERIFY WITH OWNER ON TYPE AND COLOR
 - ⑧ FURDOWN TO BE UTILIZED FOR DUCT SYSTEM
 - ⑨ VINYL SIDING SKIRT TYPICAL AROUND PERIMETER
 - ⑩ FIELD VERIFY ALL EXISTING MEASUREMENTS
 - ⑪ 3" BATT INSULATION R-13 TYPICAL
 - ⑫ 6" BATT INSULATION R-20
 - ⑬ BLOWN INSULATION R-20 TYPICAL





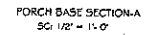
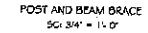
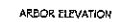
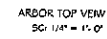
KITCHEN NOTES :

- ① 2" x 6" FUR DOWN FOR RECESSED LIGHT FIXTURES AND DUCT SYSTEM
- ② 2" x 4" FUR DOWN FOR HEATING COOLING AND DUCT SYSTEM
- ③ 25 GAL. ELEC. COUNTER TOP WATER HEATER 2ND OPTION TANKLESS WATER HEATING SYSTEM
- ④ MICROWAVE/RANGE HOOD COMB



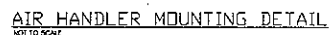
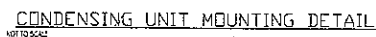
ARBOR NOTES :

- ① THE GAP IS PROVIDED FOR MAINTENANCE AND INSTALLATION OF WOOD MEMBERS
- ② SIMPSON POST CAP TIE
- ③ 1/4" GAUGE STEEL ANGLE BRACE TO BE PLACED WHERE COLUMN AND BEAM MEET USE 6 3/8" DIA. x 2" GALVANIZED AUGER SCREW TO ANCHOR BRACE (3 VERT. 3 HORZ.)



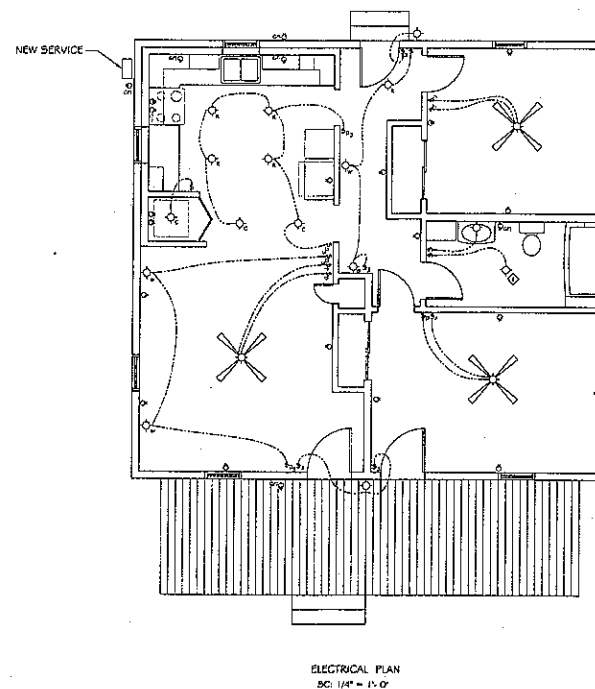
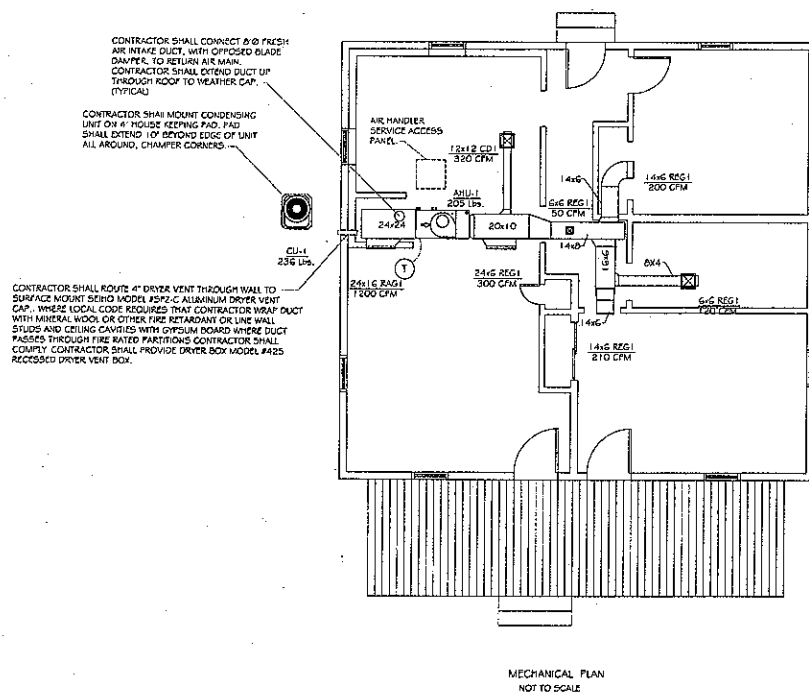
SIX RAISED PANEL FOUR RAISED PANEL TWO PANEL BI-FOLD

A B C D



ELECTRICAL NOTE :

- ◆ LIGHT-EXHAUST FAN COMBINATION
- ◆ S_D LIGHT DIMMER SWITCH
- ◆ S_F FAN SWITCH
- ◆ \diamond_R RECESSED 6" LIGHT
- ◆ \diamond_W WALL MOUNTED LIGHT
- ◆ \diamond_C CEILING MOUNTED LIGHT
- ◆ S_3 THREE-WAY SWITCH
- ◆ GFI GROUND FAULTED RECEPTACLE



PROJECT : BARRERA UPGRADE OWNERS : SUNITA & SANDIEP PATEL
301 BARBERA 134 ROSEWOOD AVE
SAN ANTONIO, TX 78210 8711 CINNAMON CREEK #1610
SAN ANTONIO, TEX 78240

AIR CONDITIONING SCHEDULE

SYMBOL	SERVING	QTY.	MANUF.	ELEV.	MODEL	NOMINAL TONS	GROSS TONS	AMBER/RED/BLW	COOLING CAPACITY	HEATING CAPACITY			FILTER		CFM	OSA	EXT. SP.	HP	ELECTRICAL DATA			SEER/EER ARI	IPLV	OPERATING WEIGHT/lbs.	REMARKS
									SHC BTU/HR	INPUT/BTU	OUTPUT/BTU	FUEL	NO.	SIZE					MCA	VOLTAGE	PHASE				
CU #1A/H1	LIVING AREA	1	RHCEM	792'	2BHM25J115W/ RARLO36JAZ	2.75	3	105/69/64	27,650	11 KW	11 KW	ELEC.	1	24x16	1200	--	--	--		63	240	1	17.1		A,B,C,H,I,J,K,L

NOTE:
A. HVAC CONTRACTOR SHALL FURNISH AND INSTALL UNITS.
B. PROGRAMMABLE NIGHT SETBACK THERMOSTAT.
C. DIFFERENTIAL PRESSURE SWITCH.
D. ROOF CURB-DOWNFLOW (TYPE TO BE DETERMINED BY ROOF STRUCTURE).
E. MANUAL OUTSIDE DAMPER SET FOR OSA.
F. NOT USED.
G. ECONOMIZER WITH DIFFERENTIAL ENTHALPY CONTROL.
H. COIL GUARDS.
I. COOLING COIL WRC003624A.
J. LOW AMBIENT CONTROLS TO OSA.
K. ELECTRICAL CONTRACTOR WILL INSTALL SMOKE DETECTORS AS STATED ON DRAWINGS.

L. CONTRACTOR SHALL INSTALL THERMOSTATS AT 4'-6" A.F.F.
M. CONTRACTOR SHALL INSTALL SMOKE DETECTOR A MAXIMUM 5'-0" FROM FIRE DAMPER.
N.

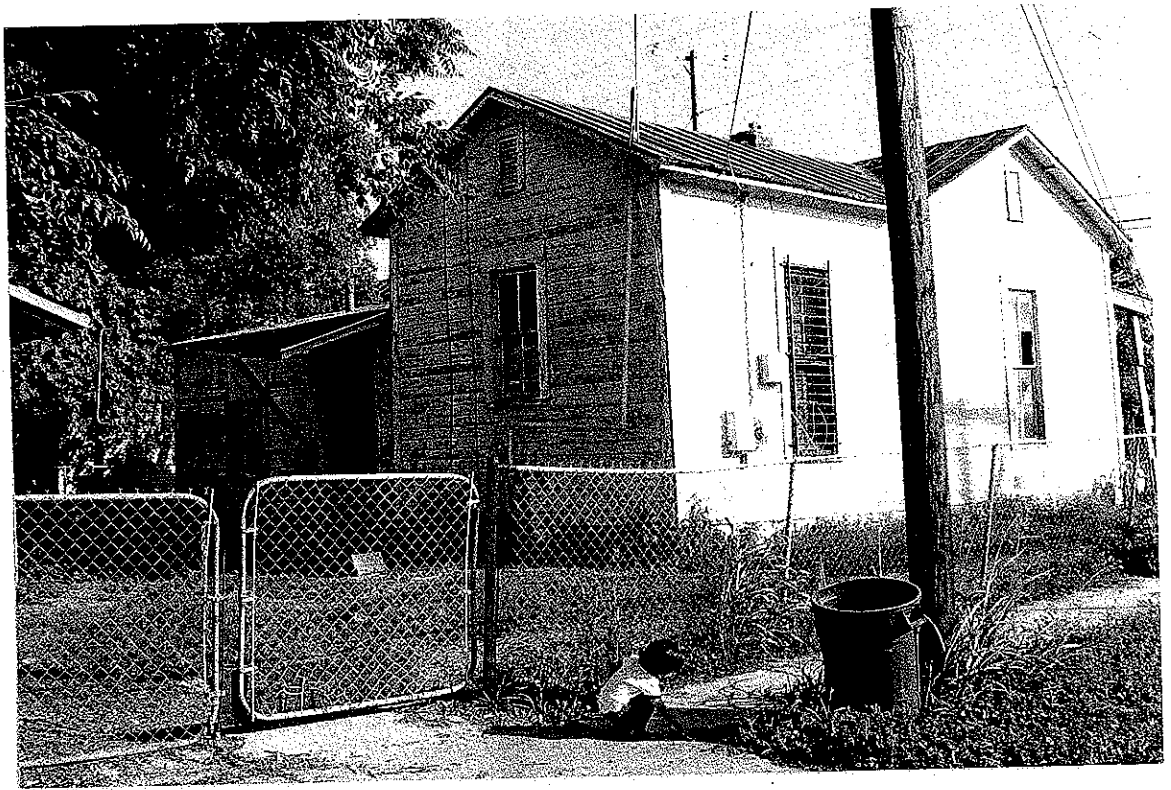
NOTE:
AC UNITS SHALL BE PROVIDED WITH UNIT LABEL. MANUFACTURE SHALL MOUNT LABELING AWAY FROM ELECTRICAL CONNECTION POINTS FOR DISCONNECT SWITCH.

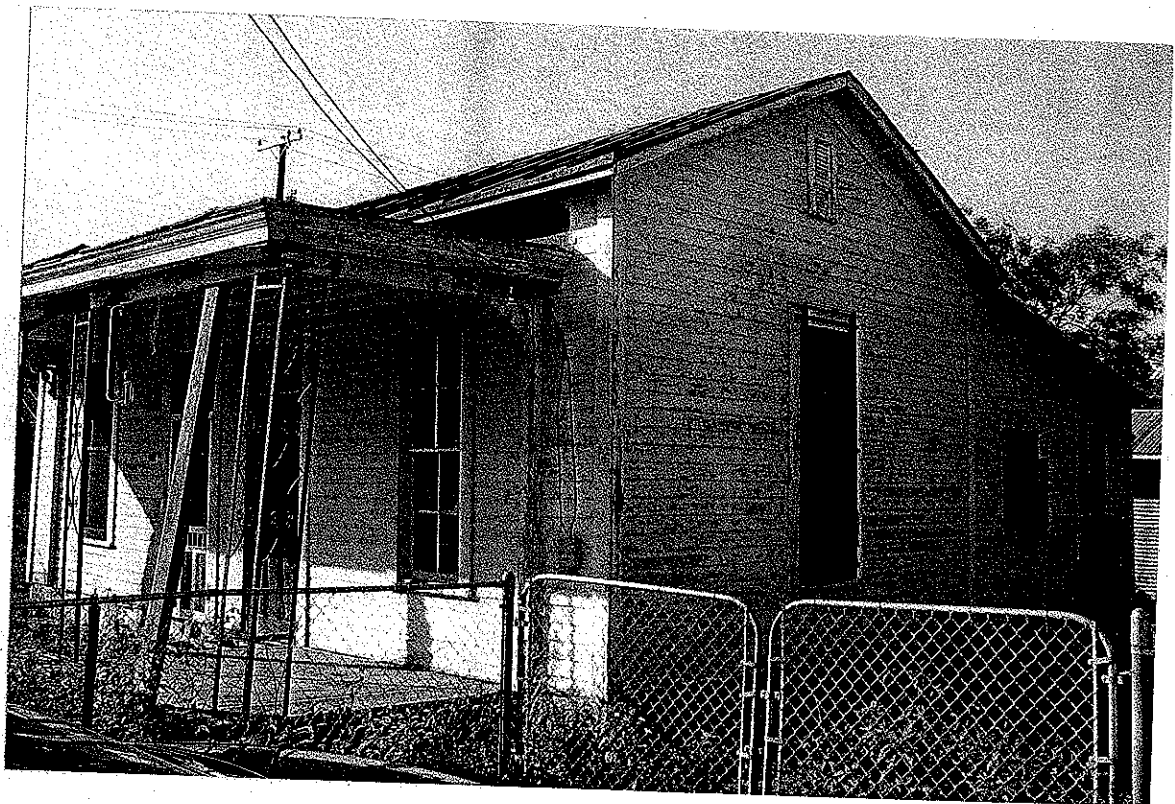
AIR DEVICE SCHEDULE

SYMBOL	MANUF.	MODEL	MODULE SIZE	BORDER	FINISH	DAMPER	REMARKS
CD1	TITUS	MCD	-	1	26		
REG1	TITUS	300 F3	---	1	26		
RAG1	TITUS	350RPF1	--	1	26		FILTER GRILLE

DSG BY : IRA VENTURES
 8711 CINNAMON CREEK #1810
 SAN ANTONIO, TEX 78240

PROJECT : BARRERA UPGRADE OWNERS : SUNITA & SANDEEP PATEL
 134 ROSEWOOD AVE
 301 BARRERA SAN ANTONIO, TEX 78210





301 Barrera

HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 23

HDRC CASE NO: 2006-321

IDENTIFIER:

ADDRESS: 307 West Josephine Street

LEGAL DESCRIPTION: NCB 1762 BLK LOT 25 (DPT SUBD UT-1)

ZONING: "I-1 RIO-2" Industrial RIO-2 District

PUBLIC PROPERTY:

COUNCIL DISTRICT: 1

DISTRICT: RIO-2

LANDMARK:

APPLICANT: DPT - Glenn Kues

OWNER: DPT

TYPE OF WORK: Signage

REQUEST:

The applicant is requesting a Certificate of Appropriateness for Final Approval to

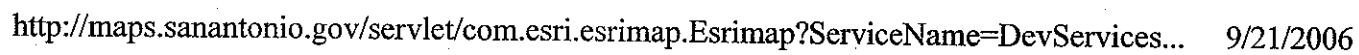
- 1) Reface an existing pylon sign
- 2) Reface an existing double faced monument sign and
- 3) Install a new 8 ft by 4 ft 6 in. building sign to replace a larger building sign for "DPT". All signs will be internally illuminated.

The accompanying exhibits provide additional information.

RECOMMENDATION:

Denial of request as submitted. This request is not only a refacing but a replacing of the cabinet for a new illuminated cabinet on Items 1 and 2. Item 3 is a new building sign which exceeds the signage allowance in the RIO Districts. Staff will continue to work with the applicant to develop appropriate signage.

CASE COMMENTS:



SCOPE OF WORK:

REPAIR EXISTING DOUBLE FACED, INTERNALLY ILLUMINATED PYLON SIGN
TO INCLUDE:

FLEX FACE OVERLAY WITH COPY ONLY ILLUMINATED, BACKGROUND
USE TRULY OPAQUE FILM

"BACKGROUND" - BRUSHED ALUMINUM VINYL

"LOGO" - VINYL 9368 - VINYL TO BE INLAYED LEAVING 1" OUTLINE

"DPT" - VINYL 9047 - VINYL TO BE INLAYED LEAVING 1" OUTLINE

"STRIPE" - VINYL 9368 - VINYL TO BE INLAYED LEAVING 1" OUTLINE

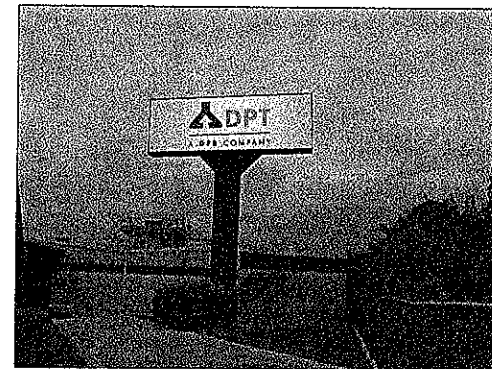
"A DFB COMPANY" - PERFORATED BLACK VINYL FOR DAY/NIGHT LOOK

CABINET, RETAINERS, RETURNS AND POLE CLAD
PAINTED SATIN BLACK

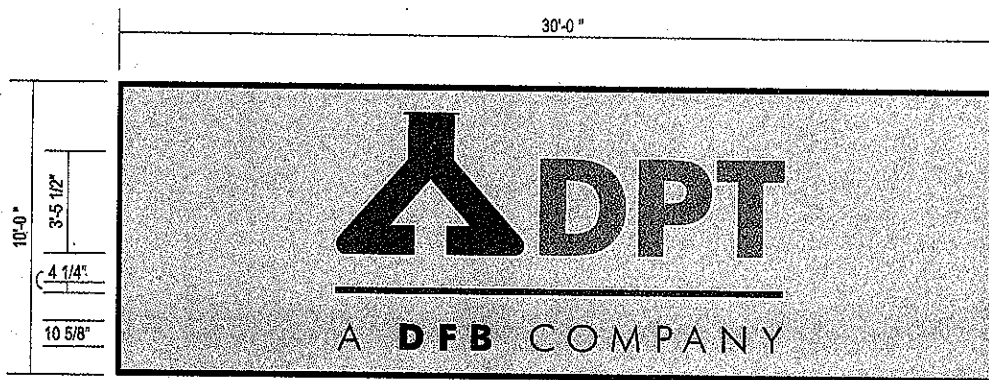
NOTE: COPY READING "A DFB COMPANY" WILL LIGHT WHITE AT NIGHT.
ONLY THE LOGO, STRIPE, DPT AND A DFB COMPANY AND THE WHITE
OUTLINE WILL LIGHT AT NIGHT.



SURVEY PHOTO - EXISTING



SURVEY PHOTO - PROPOSED



SCALE 1/4" = 1'



Client: DPT
Address: 307 E. JOSEPHINE
Location: SAN ANTONIO, TX
Sales: GW Designer: RH
Date: 08.22.06 PM KS

This is an original drawing created by Walton. It is submitted for your personal use, however, it shall at all times remain the property of Walton. It may be used in connection with the project being planned for you by Walton, but not otherwise. You are not authorized to show these drawings to anyone outside your organization, nor is it to be reproduced, used, copied or exhibited in any fashion.

Revision: RYT 9/22/06 - REV. PER RIM'S NOTES - AJ
Purch: HDPT, TX, SAN ANTONIO, E. JOSEPHINE

Signs will be manufactured with 120 Volts A/C. All primary electrical service to the sign and final connection thereof, is the responsibility of the buyer. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

Buyer: _____ Date: _____ Production: _____ Date: _____
Sales: _____ Date: _____

05-0178.3

SCOPE OF WORK:

REPAIR EXISTING DOUBLE FACED, INTERNALLY ILLUMINATED MONUMENT
SIGN AS SHOWN:

DETAILS:

ALUMINUM OVERLAY ROUTED AND BACKED WITH 3/16" ACRYLIC.

"LOGO" - ACRYLIC WITH VINYL #9368 WITH WHITE OUTLINE

"DPT" - ACRYLIC WITH VINYL #9047 WITH WHITE OUTLINE

"STRIPE" - ACRYLIC WITH VINYL #9368 WITH WHITE OUTLINE

"A DFB COMPANY" COPY TO BE ROUTED AND BACKED WITH 3/16"
WHITE ACRYLIC HAVING PERFORATED BLACK VINYL FOR DAY/NIGHT
LOOK.

FILLER PROVIDED AT END, RETAINER PROVIDED AS OUTLINE

SIGN FACE PAINTED BRUSHED ALUMINUM

CABINET, RETURNS, FILLER, RETAINER, AND BASE PAINTED SEMI-GLOSS
BLACK

NOTE: COPY READING "A DFB COMPANY" WILL LIGHT WHITE AT NIGHT.

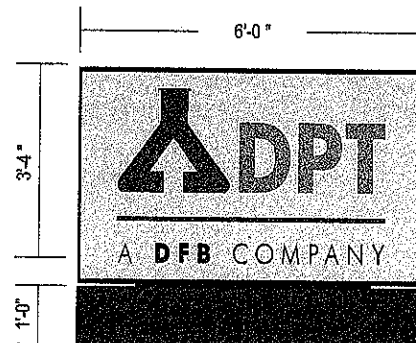
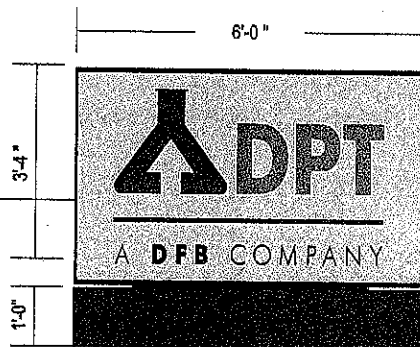


SURVEY PHOTO - EXISTING



SURVEY PHOTO - PROPOSED

REPAIR EXISTING
DOUBLE FACED
SIGN AS SHOWN -
TWO FACES TO
BE REPAIRED



SCALE 1/2" = 1'

PAINT EXISTING BASE SATIN BLACK



Client: DPT
Address: 307 E. JOSEPHINE
Location: SAN ANTONIO, TX
Sales: GW Designer: RH
Date: 08.22.06 PM KS

This is an original drawing created by Walton. It is submitted for your personal use, however, it shall at all times remain the property of Walton. It may be used in connection with the project being planned for you by Walton, but not otherwise. You are not authorized to show these drawings to anyone outside your organization, nor to be reproduced, used, copied or exhibited in any fashion.

Revision: REV 0/2206 - REV. PER KIM'S NOTES - AJ
Path: H:\DPT\TX\SANANTONIO\DE JOSEPHINE\

Signs will be manufactured with 120 Volts A/C. All Primary electrical service to the sign and final connections thereof, is the responsibility of the buyer. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement, and the drawing, the drawing shall prevail.

Buyer: _____ Date: _____ Production: _____ Date: _____
Sales: _____ Date: _____

05-0178

SCOPE OF WORK:

REMOVE AND DISCARD EXISTING SIGNAGE. FABRICATE AND INSTALL ONE (1) SINGLE FACED, INTERNALLY ILLUMINATED WALL SIGN.

DETAILS:

SIGN FACES TO BE ROUTED .125" ALUMINUM BACKED WITH 3/16" ACRYLIC.

"LOGO" - .125 FLAT CUT ALUMINUM LOGO PAINTED PMS 1805 RED STUD MOUNTED TO ACRYLIC BACKER WITH A 1" OFFSET.

"DPT" - .125 FLAT CUT ALUMINUM LETTERS PAINTED PMS 423 GRAY STUD MOUNTED TO ACRYLIC BACKER WITH A 1" OFFSET.

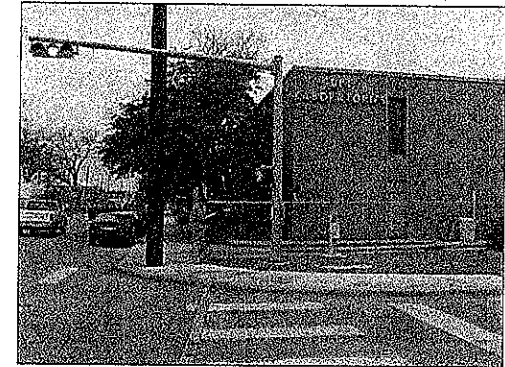
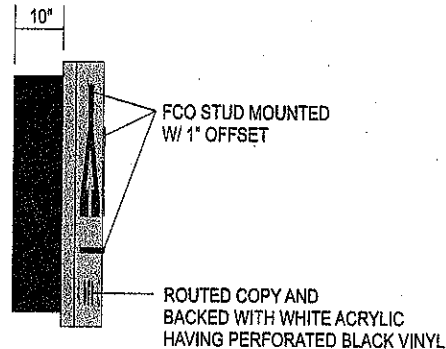
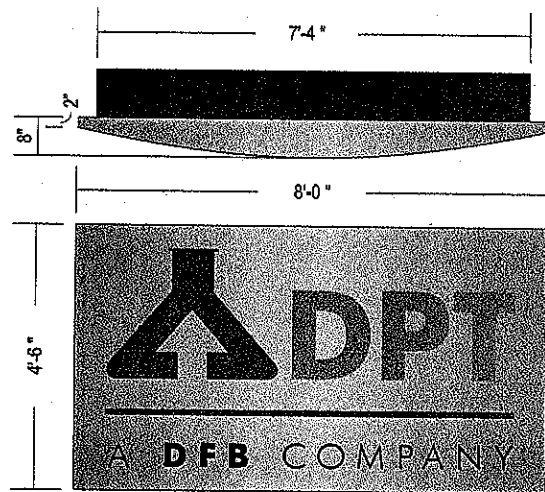
"STRIPE" - .125 FLAT CUT ALUMINUM PAINTED PMS 1805 RED STUD MOUNTED TO ACRYLIC BACKER WITH A 1" OFFSET.

"A DFB COMPANY" COPY TO BE ROUTED AND BACKED WITH 3/16" WHITE ACRYLIC HAVING PERFORATED BLACK VINYL FOR DAY/NIGHT LOOK.

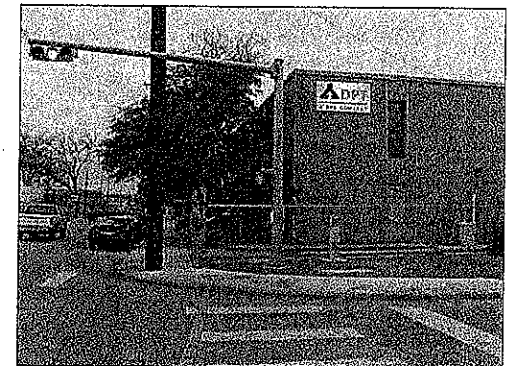
DIMENSIONAL SIGN FACE PAINTED BRUSHED ALUMINUM

CABINET, RETURNS AND BASE PAINTED SATIN BLACK

NOTE: COPY READING "A DFB COMPANY" WILL LIGHT WHITE AT NIGHT.



SURVEY PHOTO - EXISTING



SURVEY PHOTO - PROPOSED



Client: DPT
Address: 307 E. JOSEPHINE
Location: SAN ANTONIO, TX
Sales: GW Designer: RH
Date: 08.22.06 PM KS

This is an original drawing created by Walton. It is submitted for your personal use, however, it shall of all times remain the property of Walton. It may be used in connection with the project being planned for you by Walton, but not otherwise. You are not authorized to show these drawings to anyone outside your organization, nor is it to be reproduced, used, copied or exhibited in any fashion.

Revision: BY: 8/22/06 - REV. PER KIM'S NOTES - AJ
Path: H:\DPT\TXSANANTONIO\JOSEPHINE

Signs will be manufactured with 120 Volts A/C. All necessary electrical service to the sign and final connection thereof, is the responsibility of the buyer. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

Buyer: _____ Date: _____ Production: _____ Date: _____
Sales: _____ Date: _____

05-0178.2

HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 24

HDRC CASE NO: 2006-322
IDENTIFIER: Rivercenter Mall
ADDRESS: 849 E. Commerce
LEGAL DESCRIPTION: NCB 1010 Blk 2 Lot 26
ZONING: "D RIO-3" Downtown RIO-3
PUBLIC PROPERTY:
COUNCIL DISTRICT: 1
DISTRICT: RIO-3
LANDMARK:
APPLICANT: SA Partnership - Frank Valadez
OWNER: Ashkenazy Acquisition Corp.
TYPE OF WORK: Exterior Renovations

REQUEST:

The applicant is requesting a Certificate of Appropriateness for Conceptual Approval to:

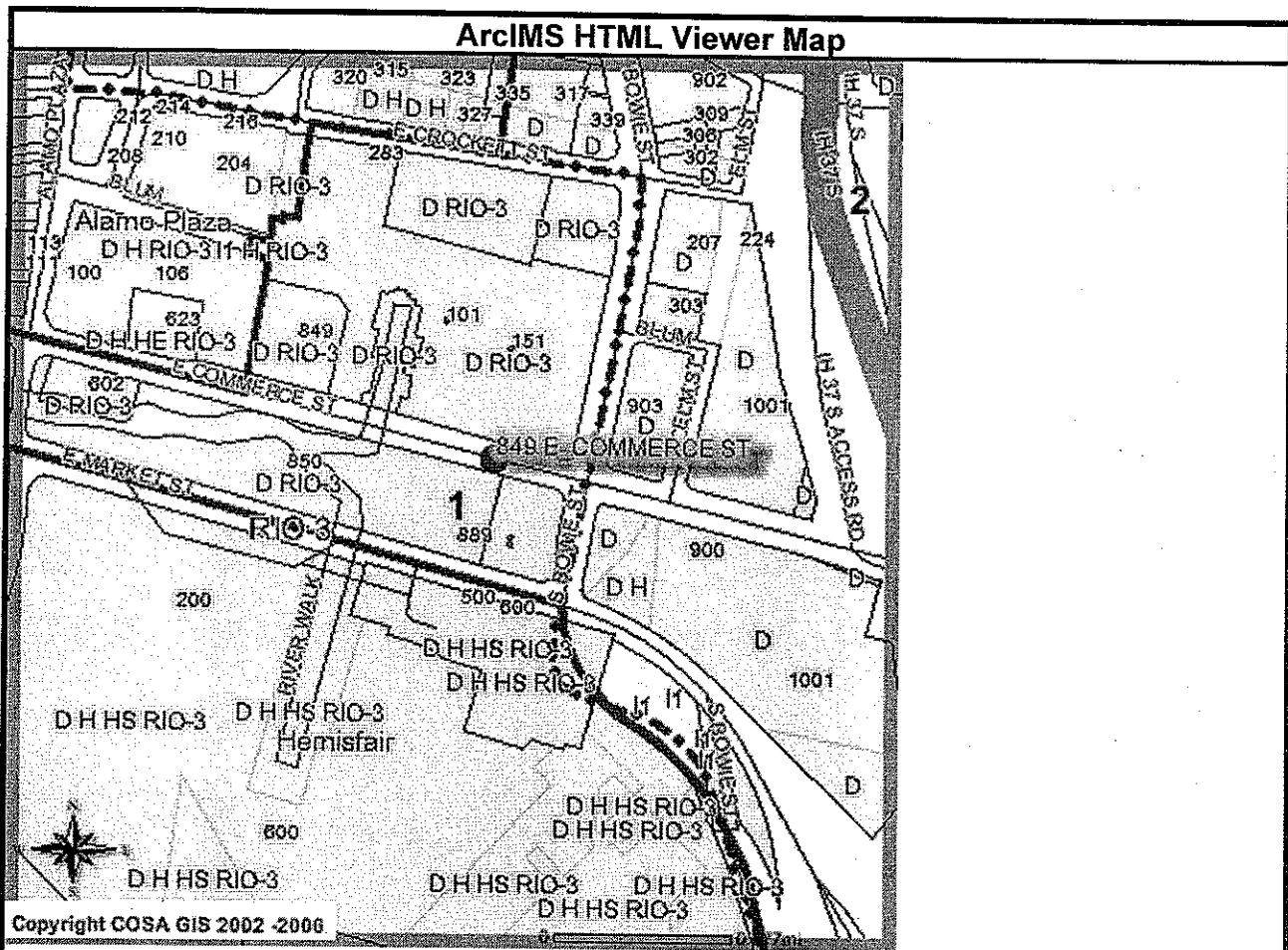
- 1) Develop new entry Gateway for Rivercenter Mall at E. Commerce St. (Phase I)
- 2) Develop new façade for Rivercenter Mall at E. Commerce St. (Phase I)
- 2) Construct new balcony retail space at north and south facades of main river channel (Phase 1)
- 3) Restoration of "Joske" façade at Commerce St. (Phase 2)
- 3) Develop new hotel concept at existing Commerce St. façade (Phase 3)

The accompanying exhibits provide additional information.

RECOMMENDATION:

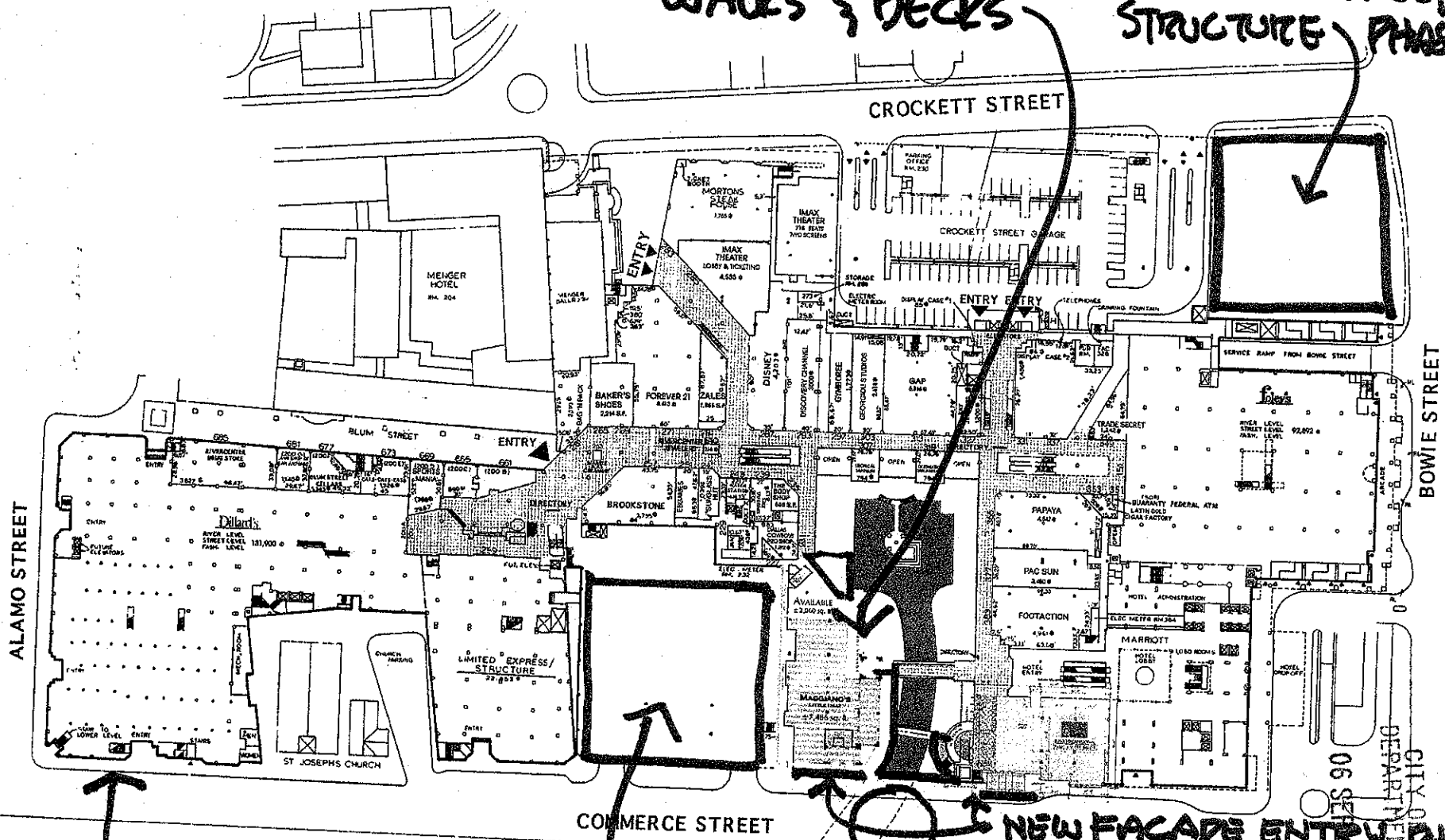
Currently staff needs further coordination with various City departments on such issues as: scope and drawings of the entire project; loss of green space; "squeezing in" of the open space; signage - including size and placement on city ROW and size of tenant signs; the proposed street "halo"; the bridge railings; proposed street pavement; and material selection relative to context of the street. Once the coordination with City Departments is completed, staff recommends the Architectural Committee review this substantial project before coming back to entire Commission.

CASE COMMENTS:



NEW EXTERIOR
WALKS & DECKS

PROPOSED
NEW PARKING
STRUCTURE PHASE 3



RESTORE FACADE
PHASE 2

NEW FACADE ENTRY PHASE 1

GATEWAY
ENTRY PHASE 1

NEW PROPOSED
HOTEL SITE (PHASE 3)

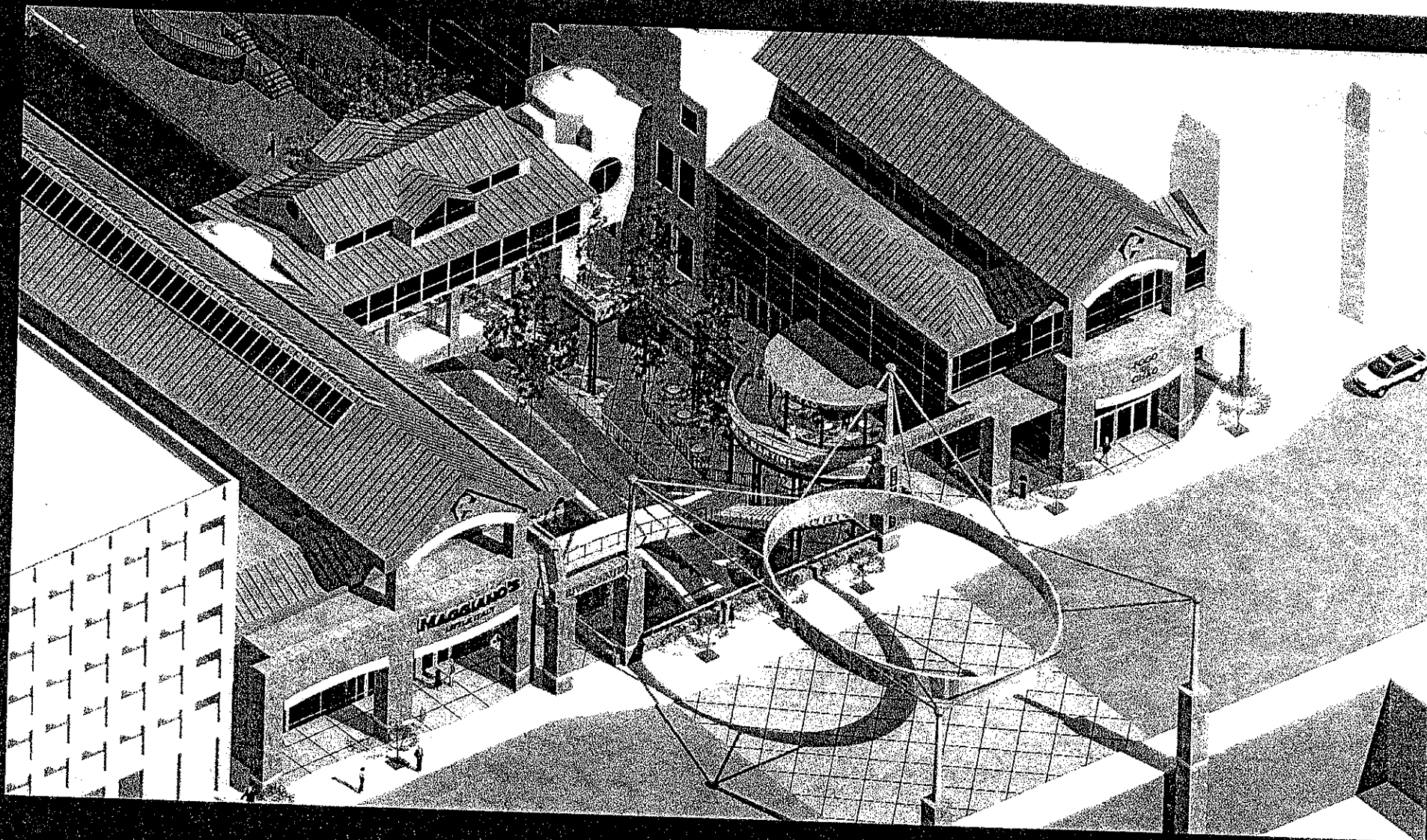
LEGNE STAR SHOPPING * FIVE STAR ENTERTAINMENT
RIVERCENTER

SITE PLAN

Proposed
Street Level



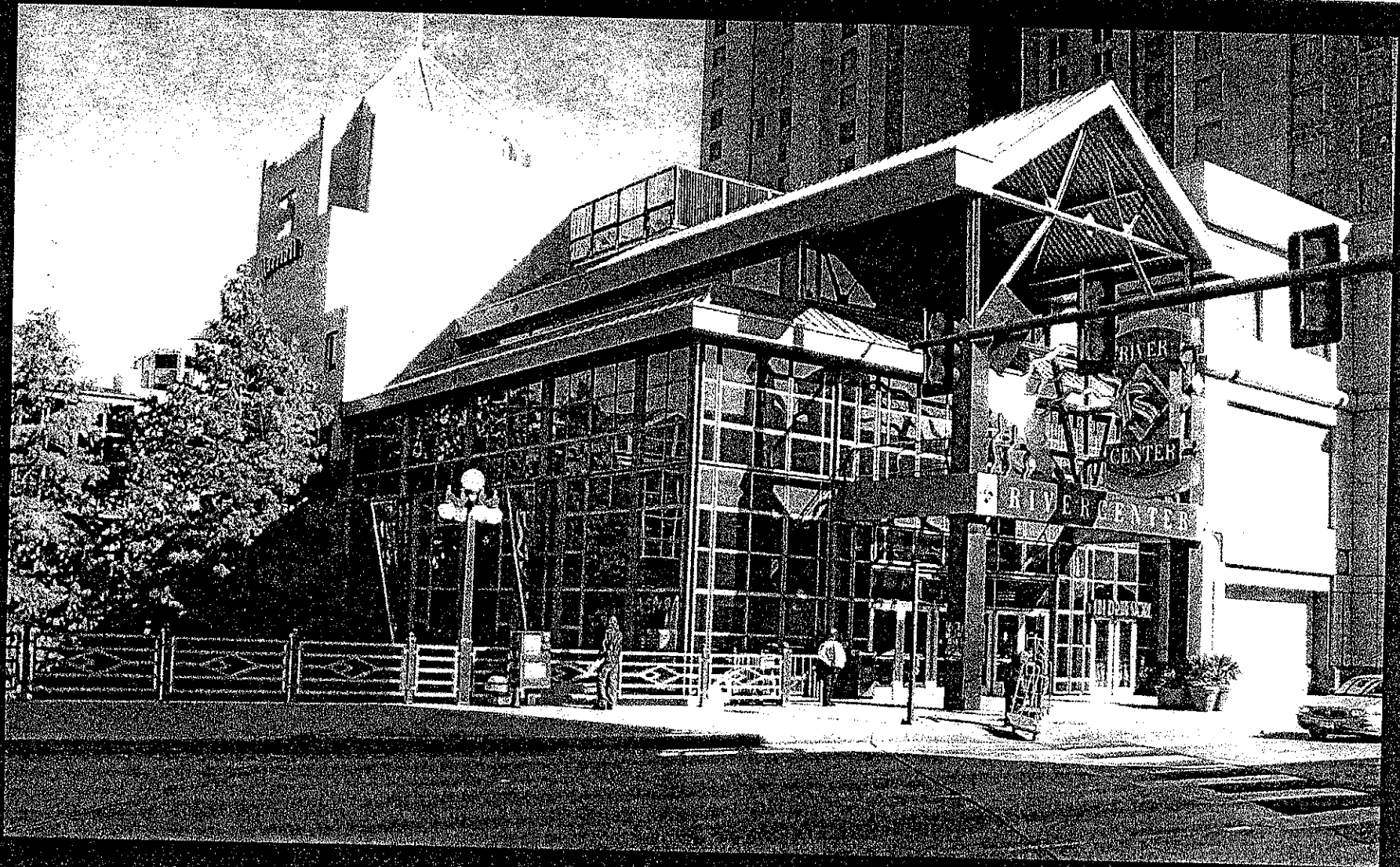
SA PARTNER
Architects
San Antonio & Boerne, Texas
AIA
210.227.2282



LONE STAR SHOPPING & FIVE STAR ENTERTAINMENT
RIVERCENTER

SA PARTNERSHIP
 Architects AIA
 San Antonio & Boerne, TX 210.227.2282

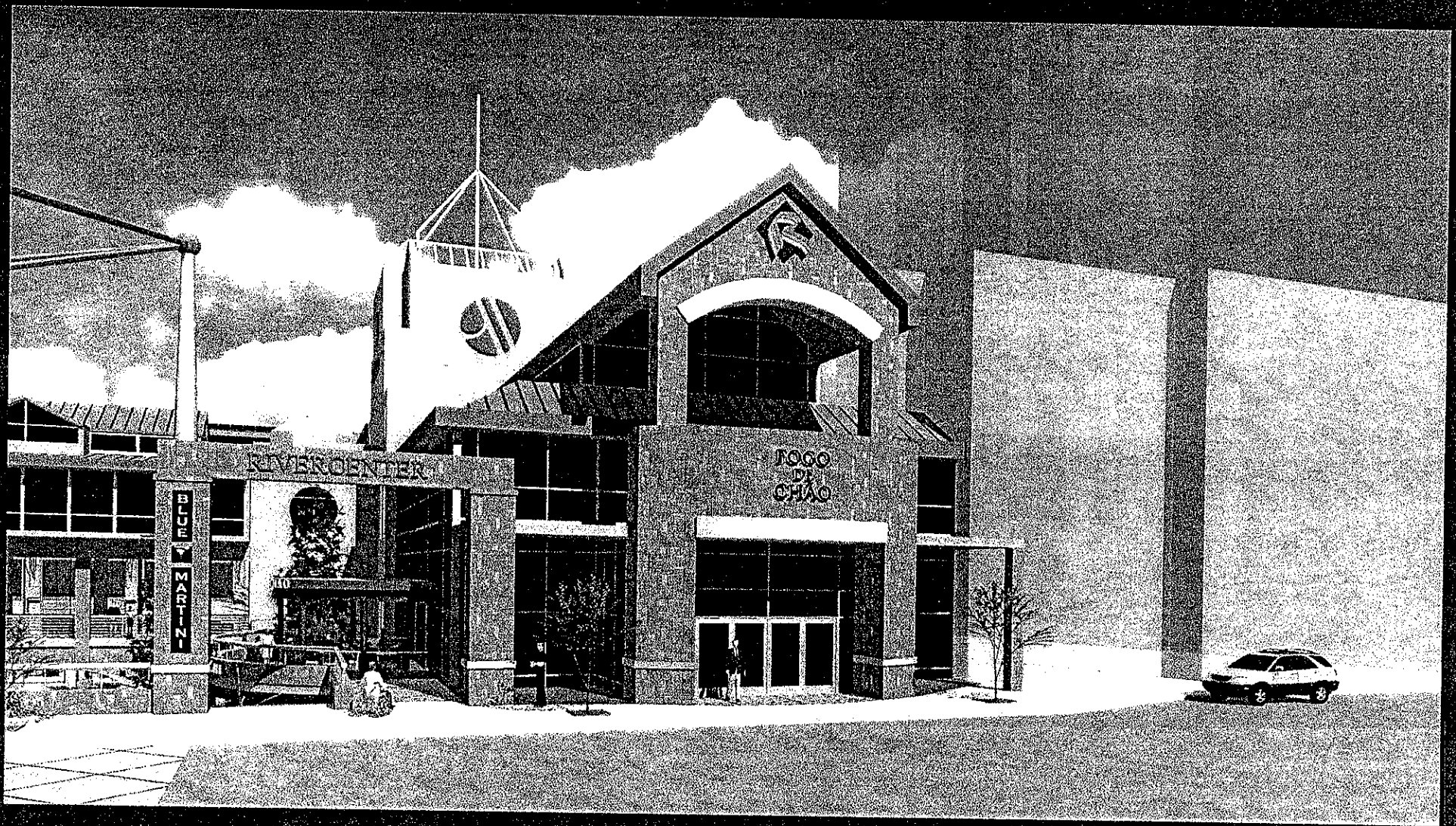
ENTRY GATEWAY / NEW RIVERCENTER ENTRY FACADE (PHASE I)



LONE STAR SHOPPING * FIVE STAR ENTERTAINMENT
RIVERCENTER

SA PARTNERSHIP
Architects
San Antonio & Boerne, TX
AIA
210.227.2282

EXISTING FACADE RIVERCENTER



LONE STAR SHOPPING & FIVE STAR ENTERTAINMENT
RIVERCENTER

SA PARTNERSHIP
Architects AIA
San Antonio & Boerne, TX 210.227.2282

NEW FACADE RIVERCENTER (PHASE I)



LONE STAR SHOPPING * FIVE STAR ENTERTAINMENT
RIVERCENTER

SA PARTNERSHIP
Architects
San Antonio & Boerne, TX

AIA
210.227.2282

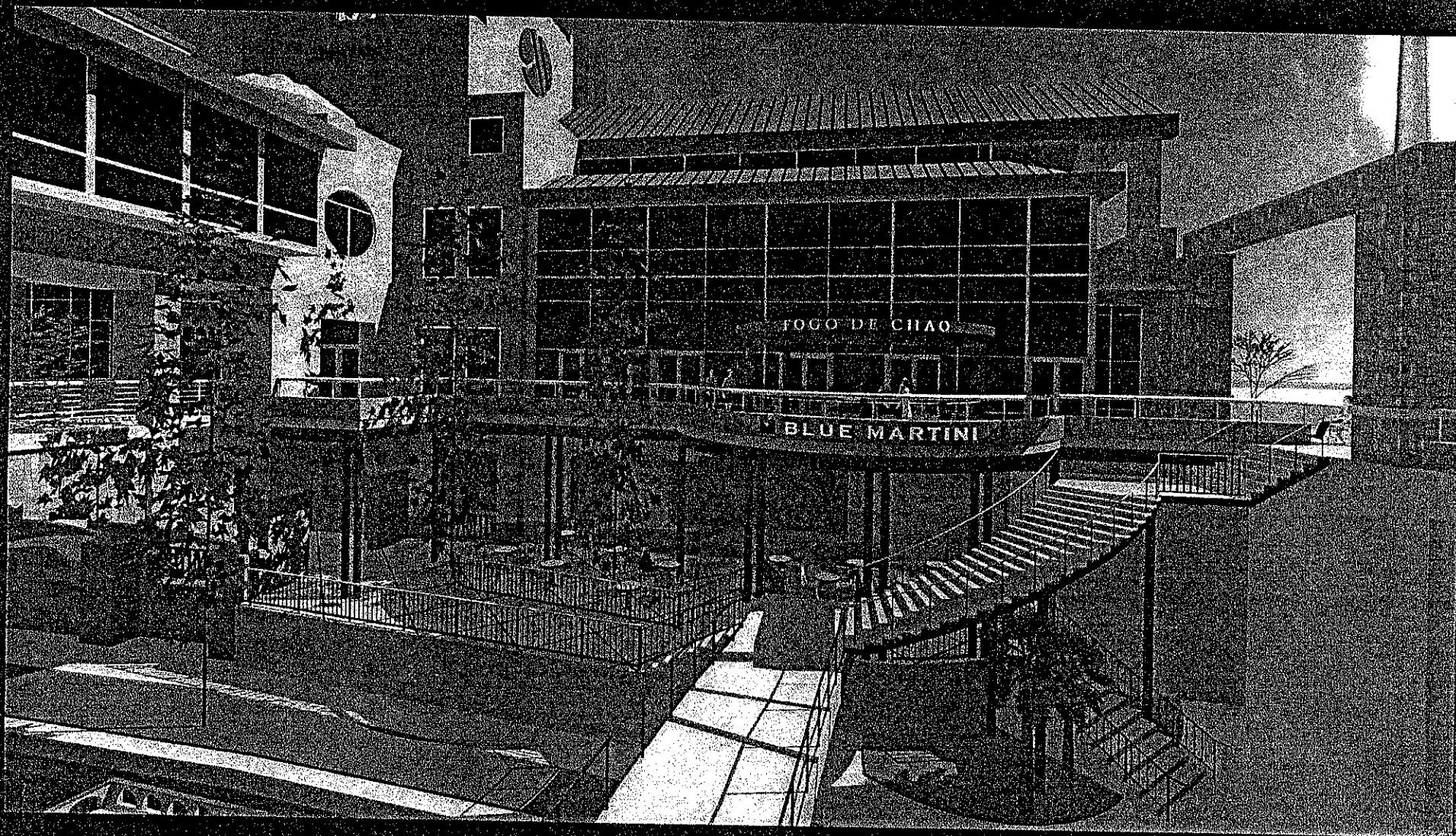
EXISTING FACADE RIVERCENTER



LONE STAR SHOPPING * FIVE STAR ENTERTAINMENT
RIVERCENTER

SA PARTNERSHIP LLP
 Architects
 San Antonio & Boerne, TX
 AIA
 210.227.2282

NEW FACADE RIVERCENTER (PHASE 1)



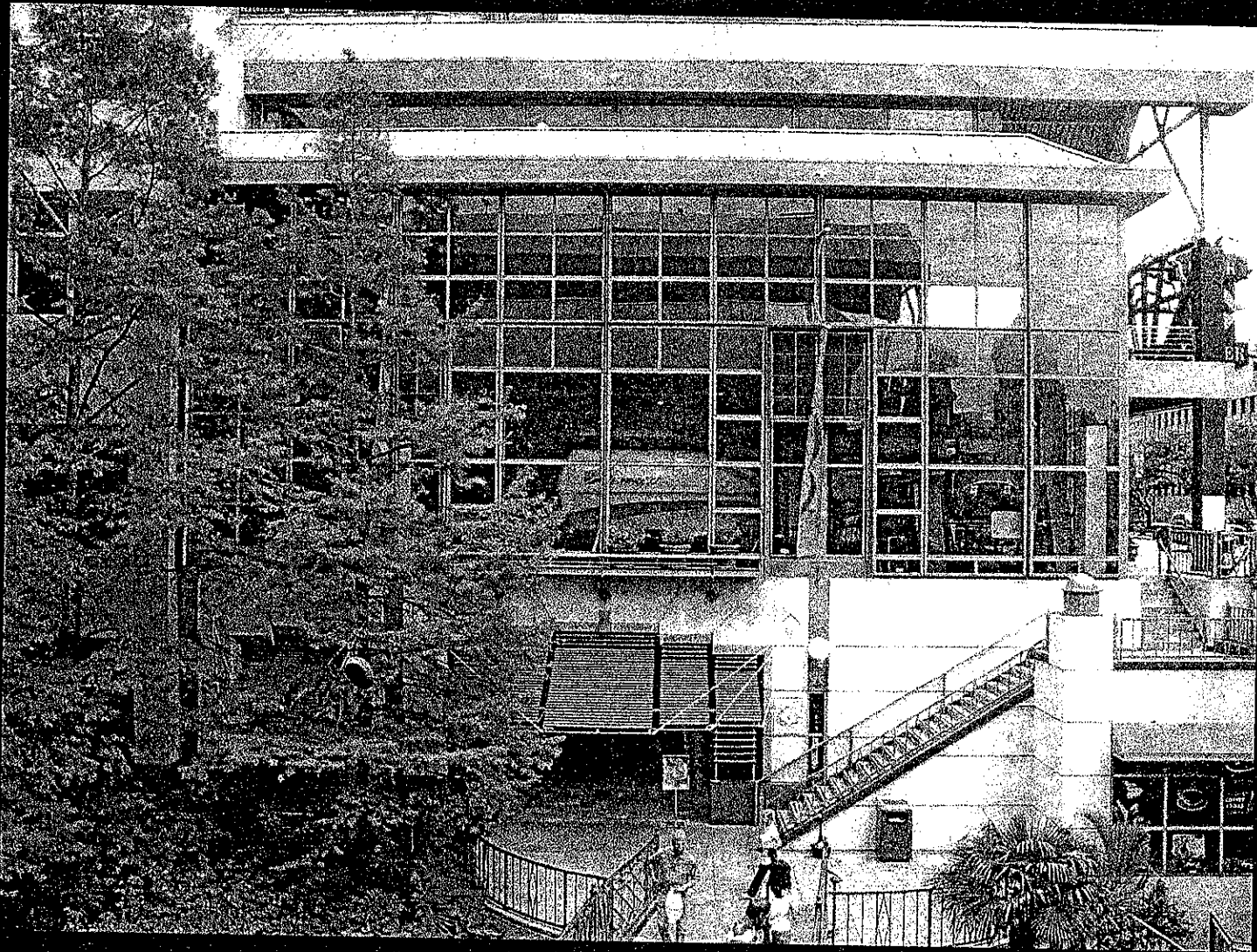
LOVE STAR SHOPPING * FIVE STAR ENTERTAINMENT
RIVERCENTER

SA PARTNERSHIP

Architects
San Antonio & Boerne, TX

AIA
210.227.2282

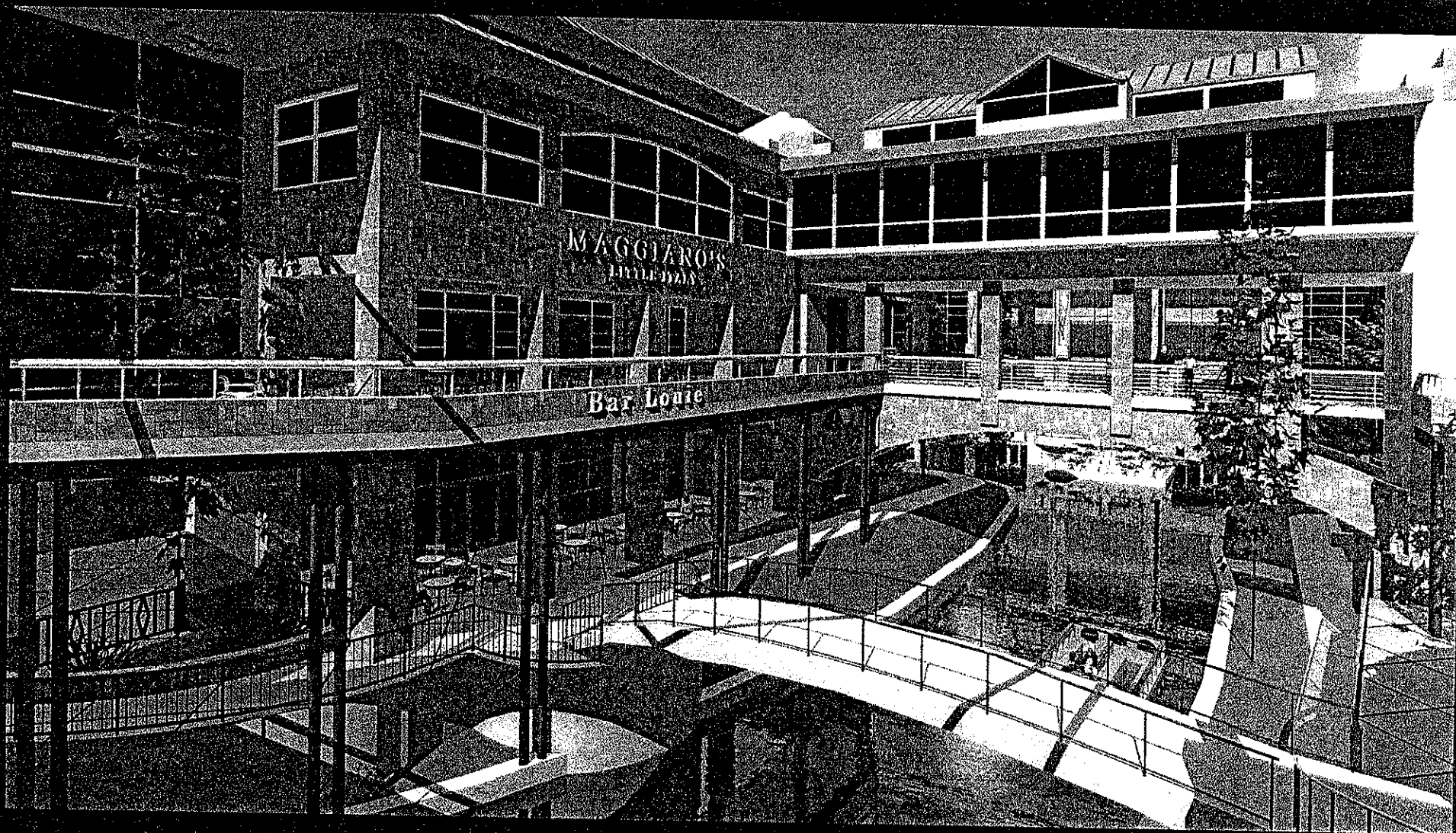
PROPOSED WALK / STAIR / RETAIL SPACE (PHASE 1)



LONE STAR SHOPPING * FIVE STAR ENTERTAINMENT
RIVERCENTER

SA PARTNERSHIP LLP
Architects AIA
San Antonio & Boerne, TX
210.227.2282

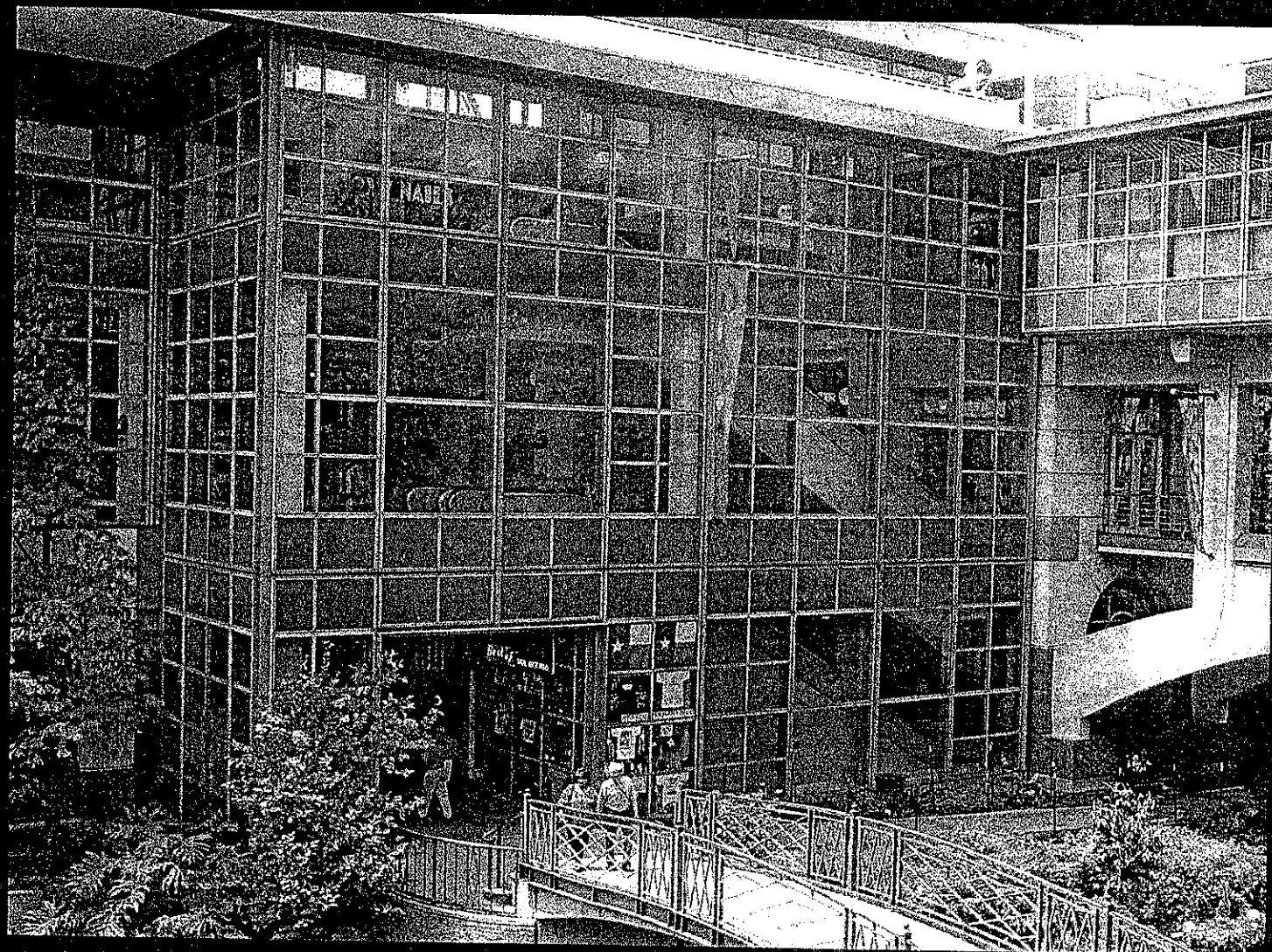
EXISTING SOUTH FACADE



LONE STAR SHOPPING * FIVE STAR ENTERTAINMENT
RIVERCENTER

SA PARTNERSHIP
Architects
San Antonio & Boerne, TX
AIA
210.227.2282

PROPOSED WALK & RETAIL SPACE (PHASE I)



LONE STAR SHOPPING • FIVE STAR ENTERTAINMENT
RIVERCENTER

SA PARTNERSHIP
Architects AIA
San Antonio & Boerne, TX
210.227.2282

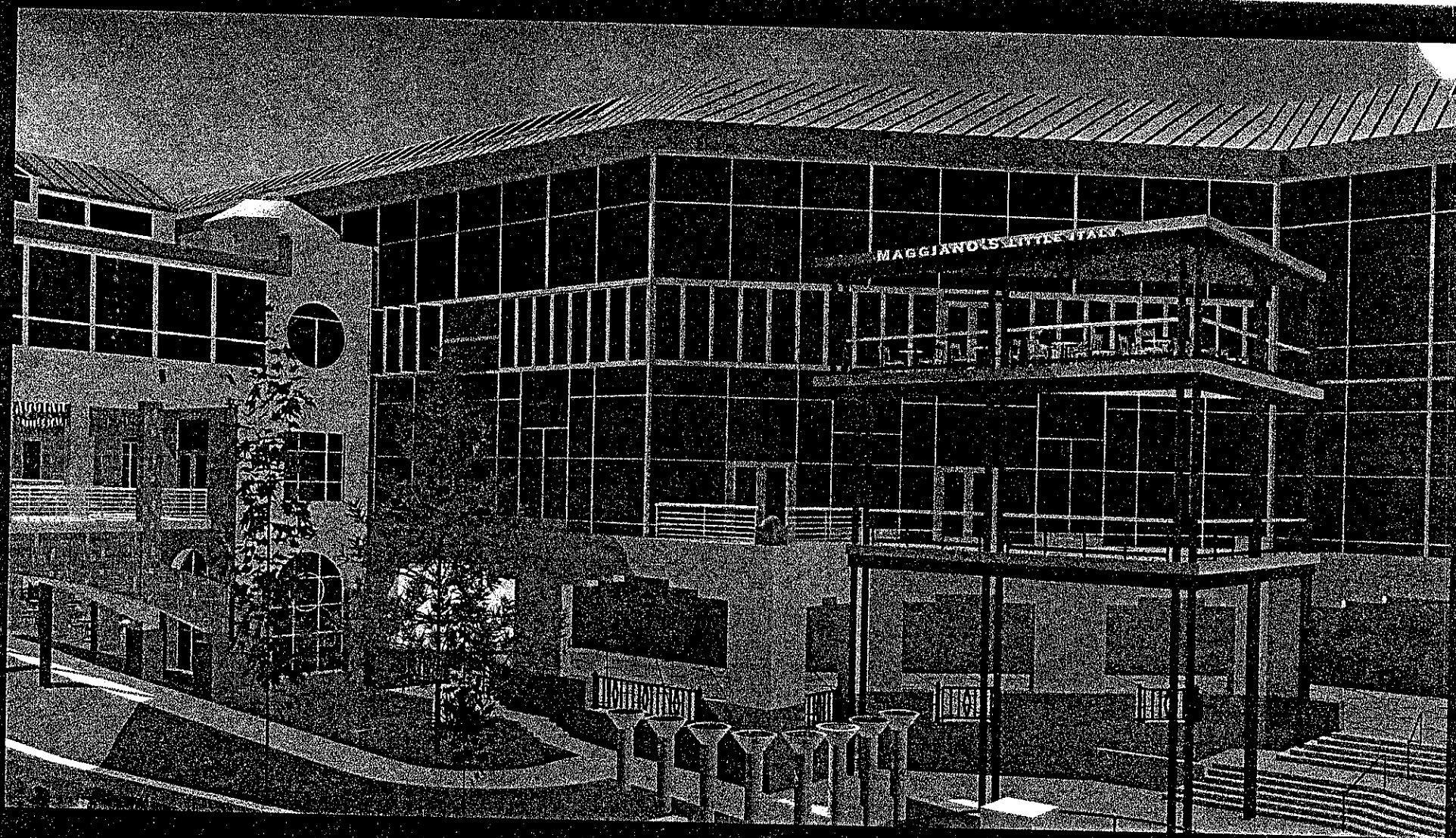
EXISTING NORTH FACADE



LOVE STAR SHOPPING ★ FIVE STAR ENTERTAINMENT
RIVERCENTER

SA PARTNERSHIP
Architects AIA
San Antonio & Boerne, TX
210.227.2282

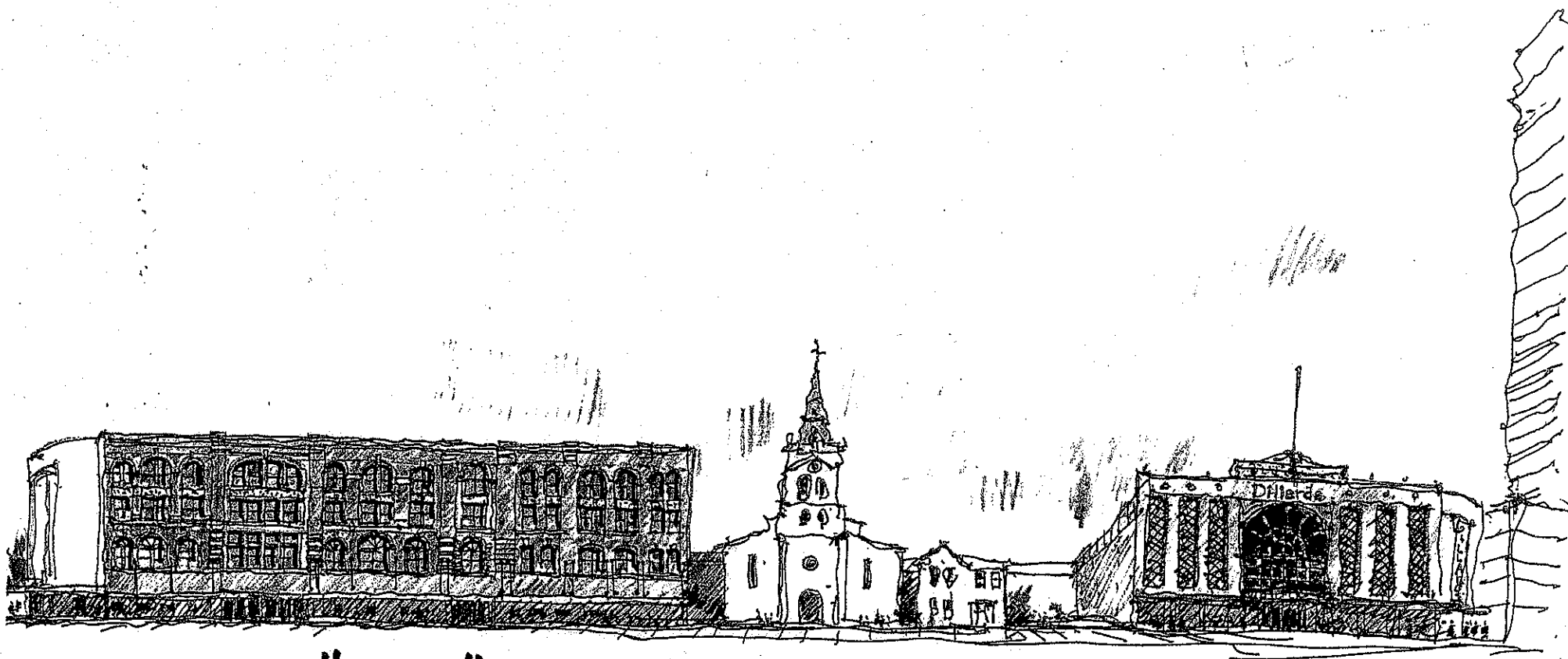
EXIST. NORTH FACADE



LONE STAR SHOPPING * FIVE STAR ENTERTAINMENT
RIVERCENTER

SA PARTNERSHIP LLP
Architects AIA
San Antonio & Boerne, TX
210.227.2282

PROPOSED EXTERIOR DECKS (PHASE I)



RESTORED "JOSKE" FACADE (PHASE 2)

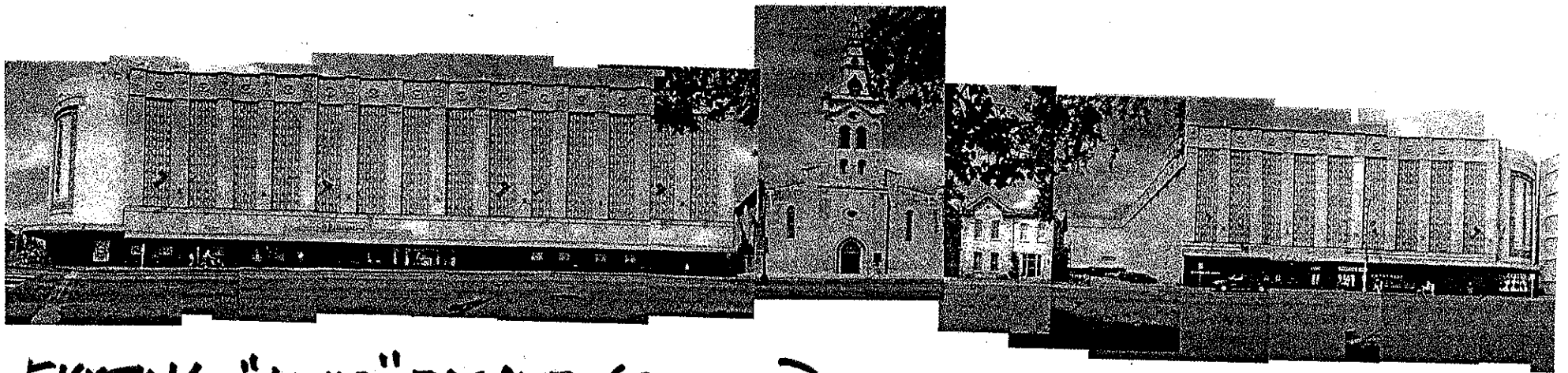
DILLARDS, COMMERCE STREET PROPOSED ELEVATION

LOST STAR SHOPPING • LIVE STAR ENTERTAINMENT
RIVERCENTER

Photographed by:

SA PARTNERSHIP, LLC
Architects
San Antonio & Boerne, TX

AIA



EXISTING "JOSKE" FACADE (PHASE 2)

DILLARDS, COMMERCE STREET ELEVATION

LONE STAR SHOPPING & FIVE STAR ENTERTAINMENT
RIVERCENTER

Photographed by:

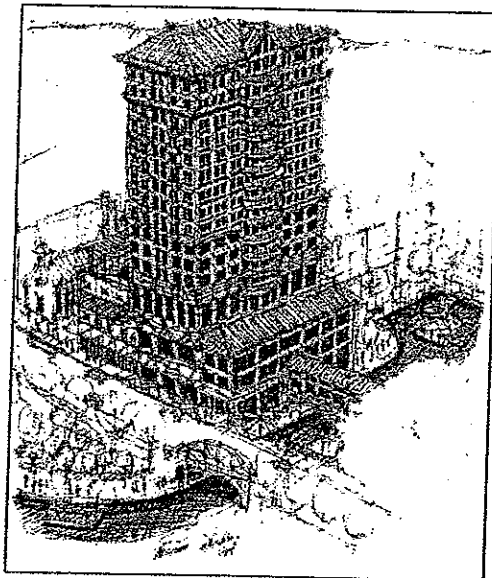
SA PARTNERSHIP
Architects
San Antonio & Boerne, TX

AIA

DATE: 11.21.05

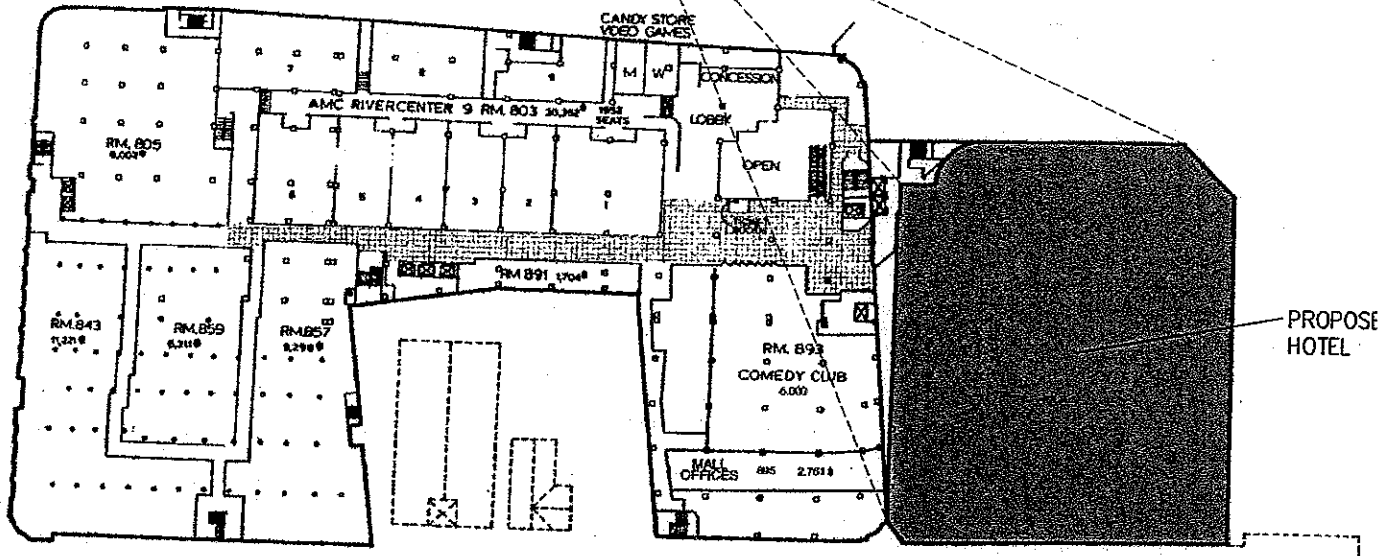
CITY OF SAN ANTONIO
DEPARTMENT OF PLANNING

06 SEP -6 PM 3:17



PROPOSED HOTEL

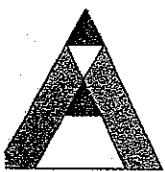
MENGER HOTEL



Proposed Third Level



**PROPOSED HOTEL
(PHASE 3)**



**ASHKENAZY
ACQUISITION
CORPORATION**

33 Fifth Avenue | Suite 200 | New York, NY. 10016
12-213-4444



RIVERCENTER

SAN ANTONIO, TEXAS

HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2006

Agenda Item No: 25

HDRC CASE NO: 2006-323

IDENTIFIER:

ADDRESS: 651 Devine

LEGAL DESCRIPTION:

ZONING:

PUBLIC PROPERTY: Olmos Basin Park

COUNCIL DISTRICT: 9

DISTRICT:

LANDMARK:

APPLICANT: Coltrane Fernandez Zavala Group LLC

OWNER: City of San Antonio Parks Dept.

TYPE OF WORK: Park Improvements

REQUEST:

The applicant is requesting a Certificate of Appropriateness for Conceptual Approval to:

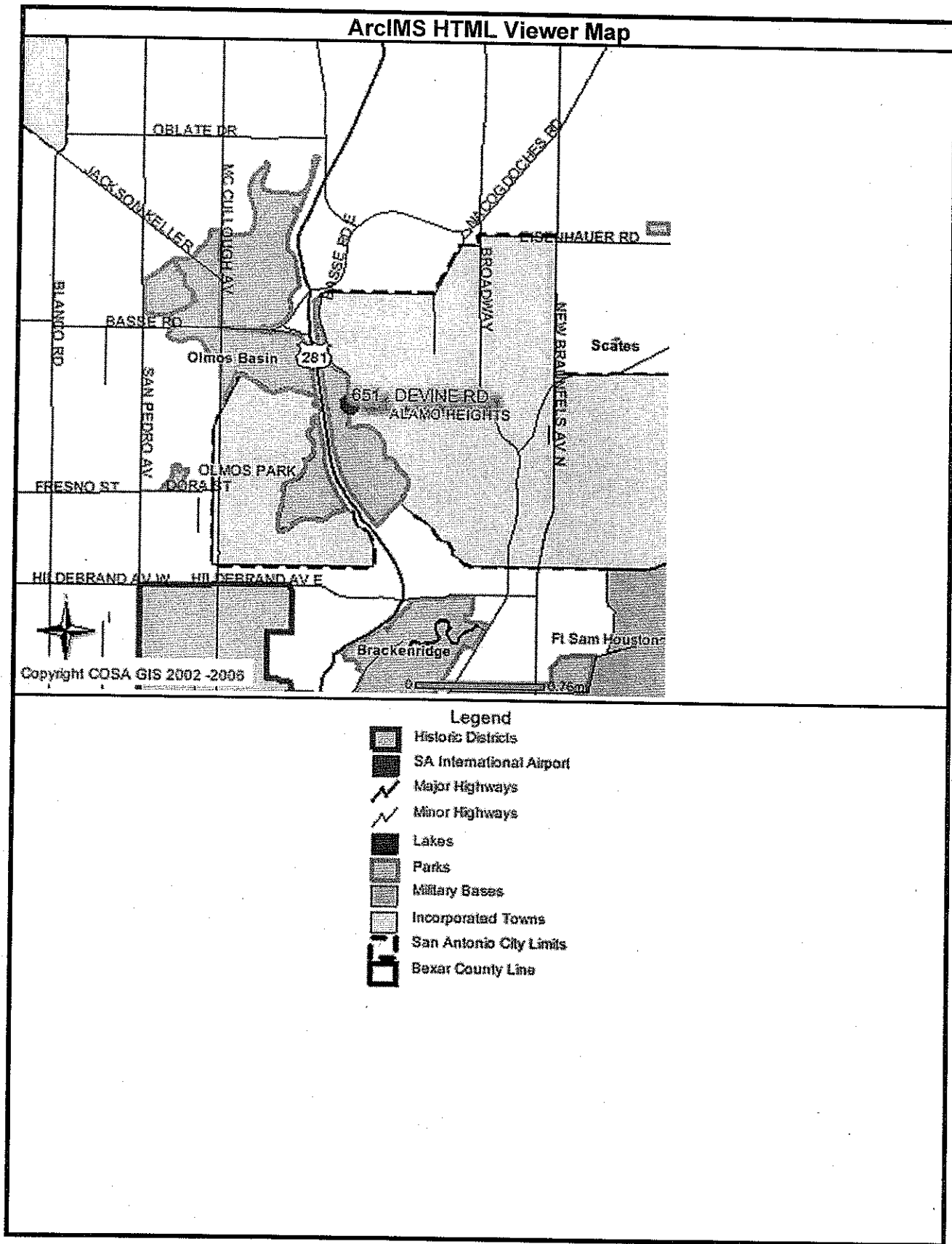
- 1) Renovate existing restrooms
- 2) Develop a pedestrian trail within the Basin
- 3) Construct Park Identification Markers at the main corridors of the Basin.
- 4) Construct an asphalt parking lot at the northwest corner of Dick Fredrick and Devine Roads.
- 5) Construct an asphalt parking lot at Jackson Keller for Farmer's Market overflow parking

The accompanying exhibits provide additional information.

RECOMMENDATION:

The staff recommends approval of this request as submitted. The proposed park improvements are appropriate for their setting and will have no adverse effects on the property.

CASE COMMENTS:



Olmos Basin Rehabilitation and Trail Development Project

The project includes rehabilitation of the existing restrooms in the Historic Olmos Park, developing a pedestrian trail within the Basin, and construct Park Identification Markers at the main corridors of the Basin.

Restroom rehabilitation includes foundation work, stone façade repair, door replacement, and thermal/moisture protection. Also electrical and plumbing fixtures will be upgraded.

The trail development scope of work will include two trail segments: 1) a ¼ mile +/- loop located at the northwest corner of Jackson Keller and McCullough Ave. A pedestrian connection from Mountaintop will provide neighborhood access. Also an asphalt parking lot will be constructed for public access from Jackson Keller and will aligned with the Farmer's Market parking lot to serve as Market overflow parking.

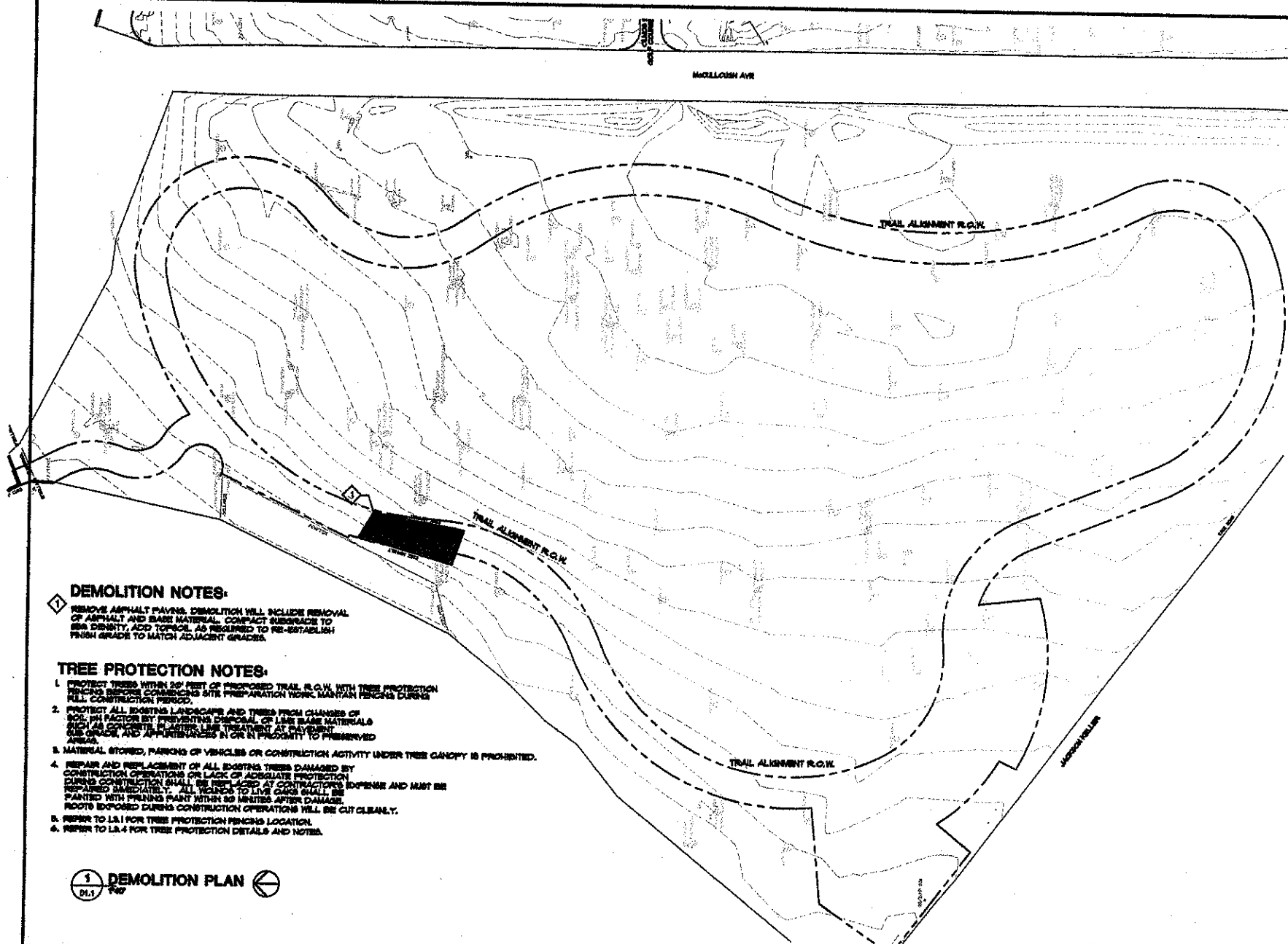
The second trail segment connects the Historic Olmos Park to the Olmos Basin Sports Complex. This segment is about ¾" of a mile with a pedestrian bridge over Olmos Creek. A 100-car asphalt parking lot located at the northwest corner of Dick Fredrick Road and Devine Road will also be constructed to serve as a trailhead and provide overflow parking for the Sports Complex.

Trail amenities will include stone trail distance markers that also serve as seating areas. Numerous trail markers also serve as wayfinding kiosks that provide information and direction to the Park's point of interests and location of facilities.

Park Identifier Markers will be constructed indicating the boundaries of the Park. Markers will be constructed of stone with wrought iron lettering to match the Park's historic character. Markers will be located at the north and southbound of Devine Road, north and southbound McCullough Ave, east and westbound of Basse Rd, east bound of Jackson Keller and east bound of Dick Fredrick Road.

09/20/2006 WED 14:48

CS



DEMOLITION NOTES:

REMOVE ASPHALT PAVING. DEMOLITION WILL INCLUDE REMOVAL OF ASPHALT AND BASE MATERIAL. COMPACT SUBGRADE TO 98% DENSITY. ADD TOPSOIL AS REQUIRED TO RE-ESTABLISH FINISH GRADE TO MATCH ADJACENT GRADES.

TREE PROTECTION NOTES:

1. PROTECT TREES WITHIN 20' FEET OF PROPOSED TRAIL R.O.W. WITH TREE PROTECTION FENCING BEFORE COMMENCING SITE PREPARATION WORK. MAINTAIN FENCING DURING FULL CONSTRUCTION PERIOD.
2. PROTECT ALL EXISTING LANDSCAPE AND TREES FROM CHANGES OF SOIL PH FACTOR BY PREVENTING EXPOSURE OF LIME BASE MATERIALS SUCH AS CONCRETE, PLASTER, LIME TREATMENT AT PAVEMENT SUB GRADE, AND APPLIANCE IN OR IN PROXIMITY TO PRESERVED AREAS.
3. MATERIAL STORED, PARKING OF VEHICLES OR CONSTRUCTION ACTIVITY UNDER TREE CANOPY IS PROHIBITED.
4. REPAIR AND REPLACEMENT OF ALL EXISTING TREES DAMAGED BY CONSTRUCTION OPERATIONS OR LACK OF ADEQUATE PROTECTION DURING CONSTRUCTION SHALL BE REPLACED AT CONTRACTOR'S EXPENSE AND MUST BE REPAIRED IMMEDIATELY. ALL WOUNDS TO LIVE CANES SHALL BE PAINTED WITH PRUNING PAINT WITHIN 30 MINUTES AFTER DAMAGE. ROOTS EXPOSED DURING CONSTRUCTION OPERATIONS WILL BE CUT CLEANLY.
5. REFER TO L&I FOR TREE PROTECTION FENCING LOCATION.
6. REFER TO L&I FOR TREE PROTECTION DETAILS AND NOTES.

Contract

FOR OFFICIAL USE ONLY
FORD POWELL & CARSON, INC.
10000 N. LOOP WEST, SUITE 100
DALLAS, TEXAS 75243-1000
(214) 343-1000
FAX (214) 343-1001
www.fordpowell.com

OLMOS BASIN PARK
REHABILITATION AND TRAIL
IMPROVEMENT PROJECT
SAN ANTONIO, TEXAS

FORD POWELL & CARSON
FORD POWELL & CARSON, INC.
Architect
Engineer
Landscape Architect
Interior Designer
2000 N. Loop West, Suite 100
Dallas, Texas 75243-1000
(214) 343-1000

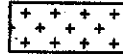
Revisions	
Rev	Description

Date: 8.31.06
Project Number: 03-109

Drawn By: CC
Checked By: CC

SITE
DEMOLITION
PLAN
Sheet Number:
D1.1

DEMOLITION LEGEND:



PAVING AREA TO BE REMOVED.



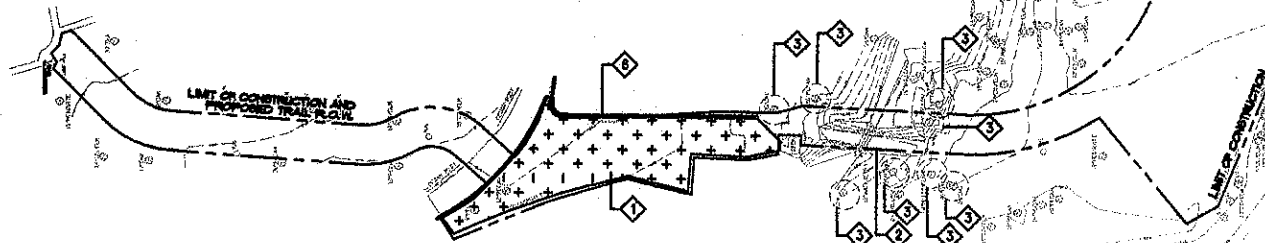
LIMIT OF CABLE OR CURBS TO BE REMOVED.

DEMOLITION NOTES:

1. REMOVE ASPHALT PAVING. DEMOLITION WILL INCLUDE REMOVAL OF ASPHALT, AND BASE MATERIAL. COMPACT SUBGRADE TO 88% DENSITY, ADD TOPSOIL AS REQUIRED TO RE-ESTABLISH FRESH GRADE TO MATCH ADJACENT GRADES. REFER TO SHEET L&S FOR FRESH GRADE TREATMENT.
2. REMOVE LOW WATER CROSSING. DEMOLITION SHALL INCLUDE REMOVAL OF ALL CONCRETE, REINFORCEMENT, CONCRETE PIPE AND ALL ROOTINGS FROM CREEK. RE-ESTABLISH CREEK BOTTOM TO MEET EXISTING CREEK CHANNEL GRADES AND PROVIDE POSITIVE DRAINAGE.
3. IN ADDITION TO TREE PRESERVATION REQUIREMENTS SPECIFIED ELSEWHERE, EXTRA CARE SHALL BE TAKEN TO MINIMIZE TREE ROOT AND CANOPY DAMAGE.
4. REMOVE SIGN. DEMOLITION SHALL INCLUDE REMOVING SIGN, POST AND CONCRETE FOOTING, AND FILL HOLE WITH TOPSOIL. COMPACT TOPSOIL TO MEETING ADJACENT, EXISTING GRADES.
5. REMOVE CABLE TO THE NEAREST TWO POSTS IN PREPARATION OF CREATING AN OPENING FOR THE PROPOSED TRAIL. AT A MINIMUM, A 6' OPENING WILL BE REQUIRED.
6. REMOVE CONCRETE CURB AND BASE. INSTALL TOPSOIL TO PROVIDE A SEAMLESS SLOPE BETWEEN THE OLD TOP OF CURB AND TO OLD ASPHALT PAVING. SLOPE SHALL NOT EXCEED 1 PER 20' (5% SLOPE). COMPACT TOPSOIL TO 88% DENSITY AND 600. REFER TO SPEC FOR 600 SPECIES.
7. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES WITHIN 72 HOURS OF DEMOLITION OR CONSTRUCTION ACTIVITIES. CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING AND THE COSTS OF REPAIRING ALL UTILITIES DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITIES.

TREE PROTECTION NOTES:

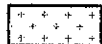
1. PROTECT TREES WITHIN 20' FEET OF PROPOSED TRAIL WITH TREE PROTECTION FENCING BEFORE COMMENCING SITE PREPARATION WORK. FULL CONSTRUCTION PERIOD.
2. PROTECT ALL EXISTING LANDSCAPE AND TREES FROM CHANGES OF SOIL PH PATTERN BY PREVENTING DISPOSAL OF LIME BASE MATERIALS SUCH AS CONCRETE, LIME, LIME TREATMENT AT PAVING, SUBGRADE, AND AMPHIBOLITES IN OR IN PROXIMITY TO PRESERVED AREAS.
3. MATERIAL STORING, PARKING OF VEHICLES OR CONSTRUCTION ACTIVITY UNDER TREES IS PROHIBITED.
4. REPAIR AND REPLACEMENT OF ALL EXISTING TREES DAMAGED BY CONSTRUCTION OPERATIONS OR LACK OF ADEQUATE PROTECTION DURING CONSTRUCTION SHALL BE AT CONTRACTOR'S EXPENSE AND MUST BE REPAIRED IMMEDIATELY. ALL WOUNDS TO LIVE OAKS SHALL BE PAINTED WITH PREVENTING PAINT WITHIN 90 MINUTES AFTER DAMAGE. ROOTS EXPOSED DURING CONSTRUCTION OPERATIONS WILL BE CUT.



1 DEMOLITION PLAN
D1.2

OLMOS BASIN PARK REHABILITATION AND TRAIL IMPROVEMENT PROJECT SAN ANTONIO, TEXAS													
FORD POWELL & CARSON FORD POWELL & CARSON, INC. Architects Planning Engineering Surveying Environmental Construction Management													
Revisions <table border="1"> <thead> <tr> <th>Mark</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		Mark	Date	Description									
Mark	Date	Description											
Date: 8.31.06 Project Number: 05-109 Sheet Title: SITE DEMOLITION PLAN	Checked By: CC Drawn By: CC												
Sheet Number: D1.2													

DEMOLITION LEGEND:



PAVING AREA TO BE REMOVED.



LINE OF CABLE OR CURBING TO BE REMOVED.



RELOCATED SPRINKLER HEAD

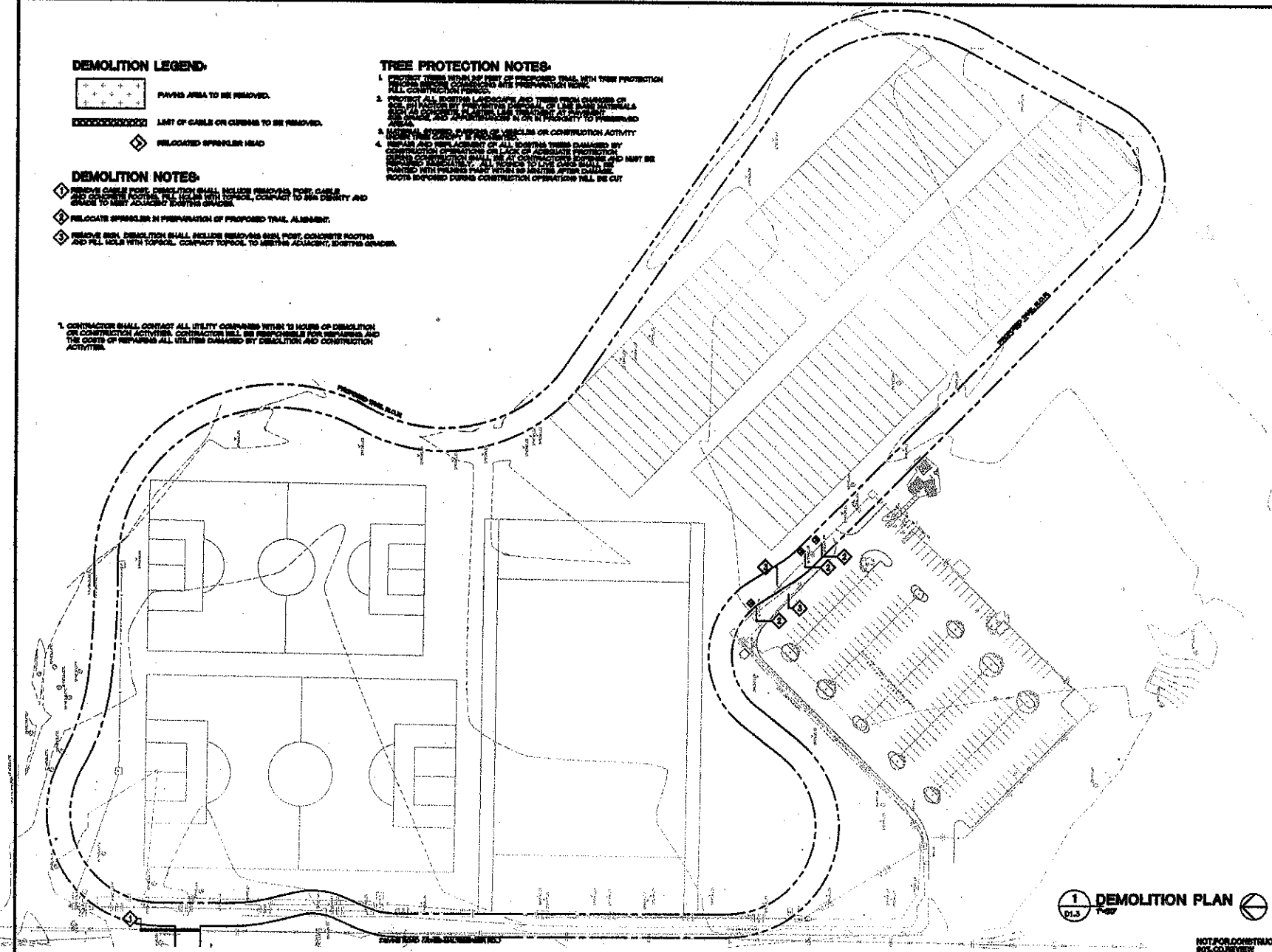
DEMOLITION NOTES:

1. REMOVE CABLE POST. DEMOLITION SHALL INCLUDE REMOVING POST, CABLE AND PULL TIE WITH TOPSOIL. CONTACT TO ADA DEMITY AND SHALL TO MEET ADJACENT EXISTING GRASSES.
2. RELOCATE SPRINKLER IN PREPARATION OF PROPOSED TRAIL ALIGNMENT.
3. REMOVE SIGN. DEMOLITION SHALL INCLUDE REMOVING SIGN POST, CONCRETE FOOTING AND PULL TIE WITH TOPSOIL. CONTACT TOPSOIL TO MEETING ADJACENT EXISTING GRASSES.

TREE PROTECTION NOTES:

1. PROTECT TREES WITHIN 10 FEET OF PROPOSED TRAIL WITH TREE PROTECTION FULL CONSTRUCTION PERIOD.
2. PROTECT ALL EXISTING LANDSCAPE AND TREES FROM DAMAGE OF THE SAME MATERIALS AND METHODS OF CONSTRUCTION. THE PROTECTION SHALL BE MAINTAINED AND REPAIRS SHALL BE MADE IN PLACE TO THE PROPOSED TRAIL.
3. MAINTAIN EXISTING PARKING OF VEHICLES OR CONSTRUCTION ACTIVITY WITHIN TREE ZONE. IF REQUIRED.
4. MAINTAIN AND REPAIR ALL EXISTING TREES DAMAGED BY CONSTRUCTION OPERATIONS OR LACK OF ADEQUATE PROTECTION. REMOVING OPERATIONS OF ALL TREES TO THE SAME SHALL BE PAINTED WITH PRUNING PAINT WITH NO MATHS AFTER CHAIN SAW ROOTS BEFORE DURING CONSTRUCTION OPERATIONS WILL BE CUT.

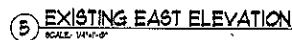
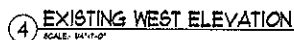
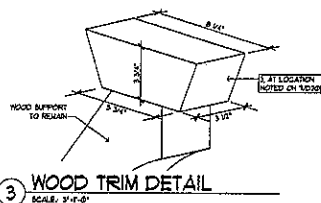
1. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES WITHIN 10 HOURS OF DEMOLITION OR CONSTRUCTION ACTIVITY. CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRS AND THE COSTS OF REPAIRS ALL UTILITIES DAMAGED BY DEMOLITION AND CONSTRUCTION ACTIVITY.



1 DEMOLITION PLAN
D1.3

NOT FOR CONSTRUCTION
SOL.CO.REVIEW

<p>Consultant</p> <p>ONE GROUP LLC 10000 DALLAS STREET SUITE 1000 DALLAS, TEXAS 75243 TEL: 214.635.1234 FAX: 214.635.1235</p>													
<p>OLMOS BASIN PARK REHABILITATION AND TRAIL IMPROVEMENT PROJECT</p> <p>SAN ANTONIO, TEXAS</p>													
<p>Architect</p> <p>FORD POWELL & CARSON</p> <p>FORD POWELL & CARSON, INC. 10000 DALLAS STREET SUITE 1000 DALLAS, TEXAS 75243 TEL: 214.635.1234 FAX: 214.635.1235</p>													
<p>Revisions</p> <table border="1"> <thead> <tr> <th>Mark</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		Mark	Date	Description									
Mark	Date	Description											
<p>Date</p> <p>8.31.06</p>	<p>Checked By</p> <p>CC</p>												
<p>Project Number</p> <p>03-109</p>	<p>Drawn By</p> <p>CC</p>												
<p>Sheet Title</p> <p>SITE DEMOLITION PLAN</p>													
<p>Sheet Number</p> <p>D1.3</p>													



- GENERAL NOTES:**
- GENERAL**
- 001 WHERE THERE ARE DIFFERENCES BETWEEN THE CONTRACT DOCUMENTS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- DEMOLITION**
- (S1) REMOVE AND DISPOSE OF ALL PLUMBING FIXTURES, SINKS, AND TOILET PAPER DISPENSERS.
- (S2) REMOVE AND DISPOSE OF ALL METAL, LEAD, AND PLYWOOD PARTITIONS.
- (S3) REMOVE ALL PLUMBING DRAIN LINES. REPORT ANY DEFECTS TO ARCHITECT.
- (S4) REMOVE ALL FRAMES AND RE-INSTALL METAL ROOF DOWNSPOUTS. (SEE SHEET A302 FOR NEW LOCATIONS)
- CONCRETE**
- (C1) CLEAN ALL CONCRETE SLABS AND BEAMS WITH A LOW PRESSURE WASH.
- MAASONRY**
- (M1) CLEAN ENTIRE LIMESTONE FACADE WITH LOW PRESSURE WASH.
- (M2) CLEAN PLASTERING PAVING WITH LOW PRESSURE WASH.
- (M3) CLEAN PREP AND PAINT ALL CONCRETE MASONRY INFILL AT JOINTS.
- (M4) CLEAN ALL CONCRETE MASONRY UNITS OF INTERIOR PARTIAL HEIGHT WALLS.
- METAL**
- (M5) CLEAN PREP AND PAINT METAL, GATES, FRAMES AND HARDWARE.
- WOOD**
- (W1) CLEAN REMOVE ALL PAINT, RE-PREP AND PAINT ALL WOOD SURFACES.

**COLMOS BASIN PARK
REHABILITATION AND TRAIL
IMPROVEMENT PROJECT
SAN ANTONIO, TEXAS**

Architects

**FORD
POWELL
& CARSON**

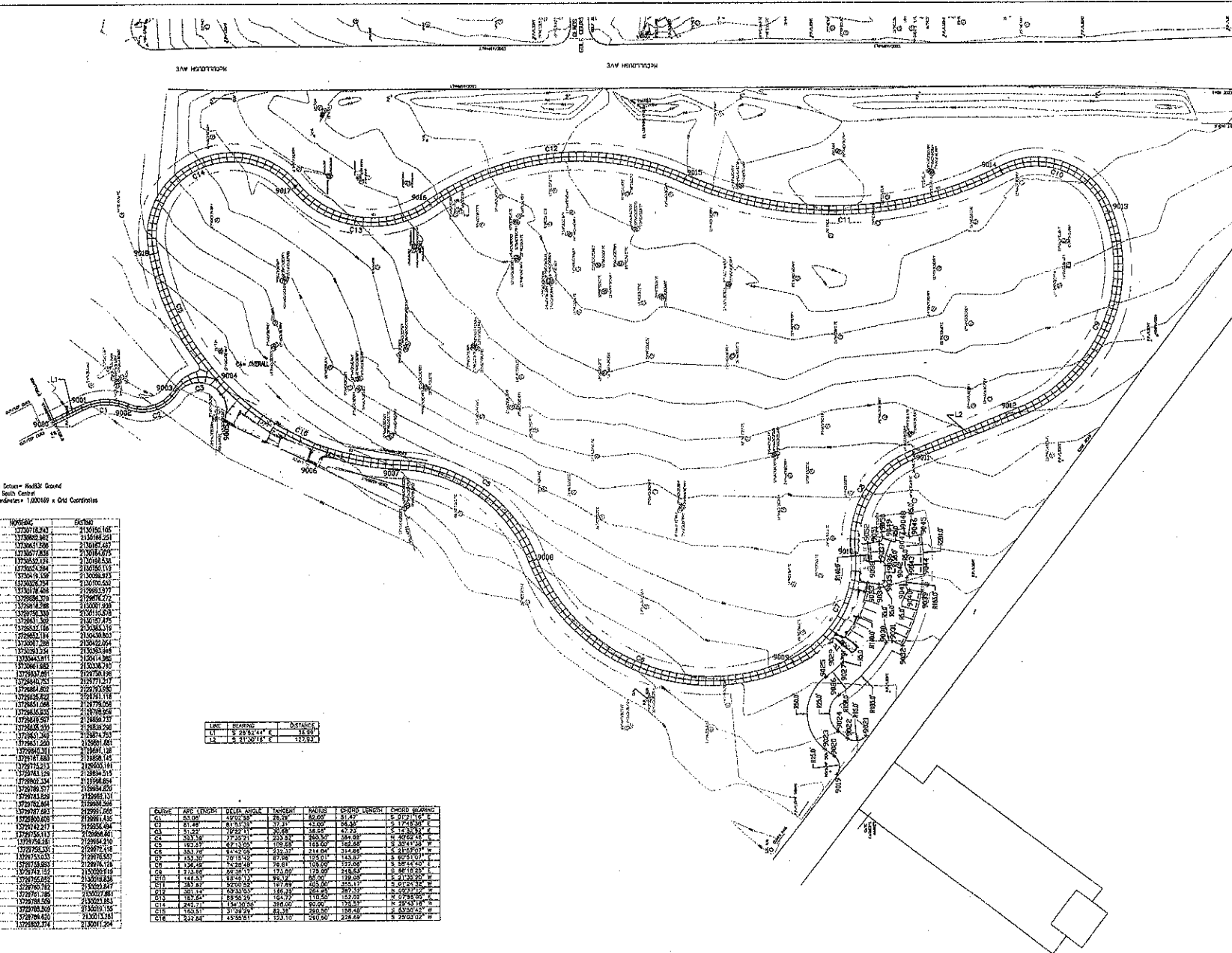
FORD POWELL & CARSON, INC.

Architecture
Planting
Landscape Architecture
Interior Design

1138 East Commerce Street
San Antonio, Texas 78205
210/226-1246

[illegible]

D201



Coordinate System: NAD83
Zone: 14N
Ground Coordinates: 1,000,000 x Old Coordinates

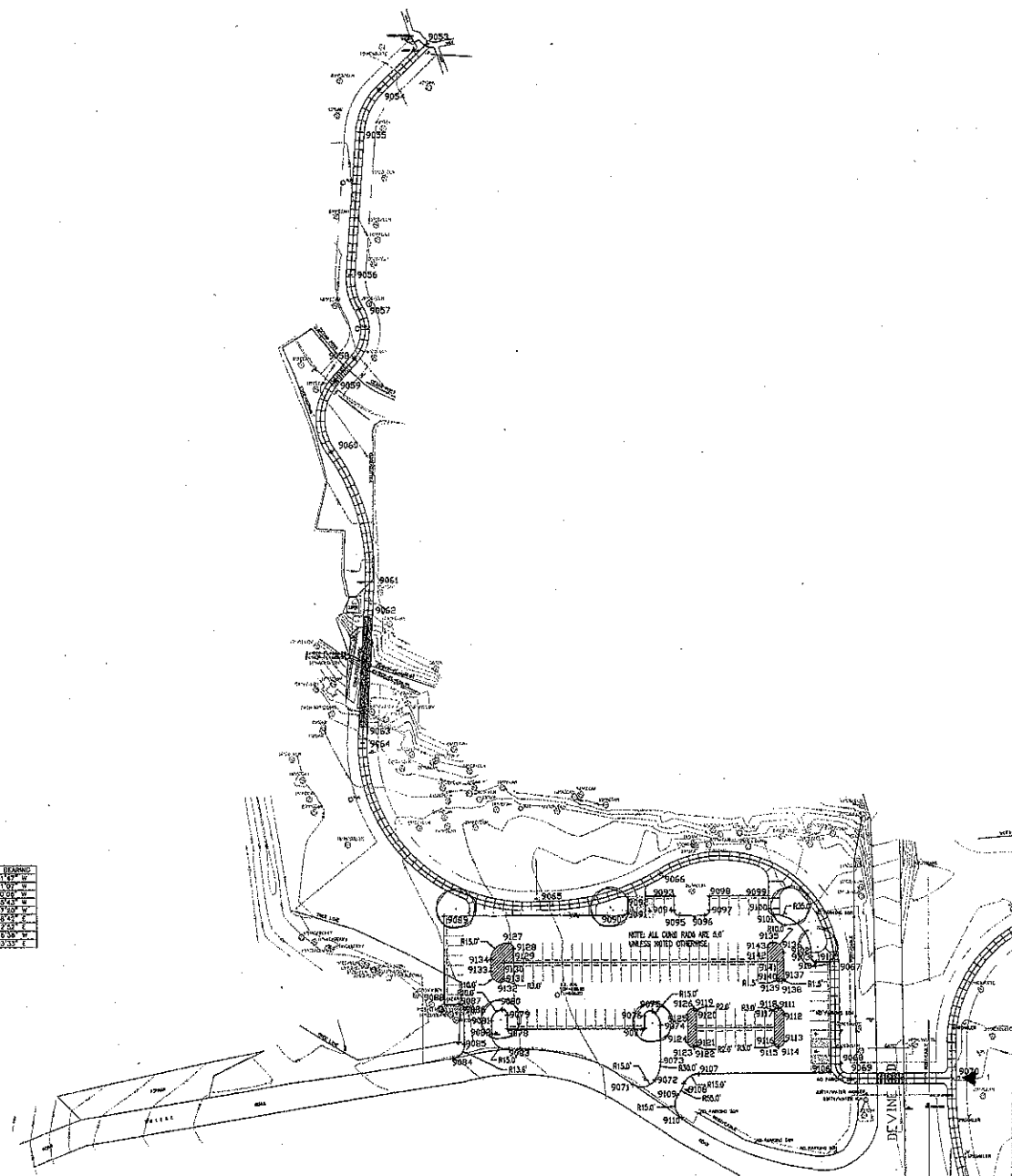
Old	NAD83	Old
9000	17720718.543	2150161.165
9001	17720682.345	2150168.251
9002	17720647.190	2150172.427
9003	17720617.838	2150174.475
9004	17720582.778	2150178.534
9005	17720547.694	2150185.119
9006	17720512.597	2150194.823
9007	17720477.491	2150204.652
9008	17720442.376	2150214.507
9009	17720407.251	2150224.378
9010	17720372.116	2150234.265
9011	17720336.971	2150244.168
9012	17720301.816	2150254.087
9013	17720266.651	2150264.022
9014	17720231.476	2150273.973
9015	17720196.291	2150283.940
9016	17720161.096	2150293.923
9017	17720125.891	2150303.922
9018	17720090.676	2150313.937
9019	17720055.451	2150323.968
9020	17720020.216	2150333.995
9021	17719984.971	2150344.028
9022	17719949.716	2150354.067
9023	17719914.451	2150364.112
9024	17719879.176	2150374.163
9025	17719843.891	2150384.219
9026	17719808.606	2150394.280
9027	17719773.311	2150404.347
9028	17719738.016	2150414.419
9029	17719702.711	2150424.496
9030	17719667.406	2150434.578
9031	17719632.101	2150444.665
9032	17719596.796	2150454.757
9033	17719561.491	2150464.854
9034	17719526.186	2150474.956
9035	17719490.881	2150485.063
9036	17719455.576	2150495.175
9037	17719420.271	2150505.292
9038	17719384.966	2150515.414
9039	17719349.661	2150525.541
9040	17719314.356	2150535.673
9041	17719279.051	2150545.810
9042	17719243.746	2150555.952
9043	17719208.441	2150566.100
9044	17719173.136	2150576.253
9045	17719137.831	2150586.411
9046	17719102.526	2150596.574
9047	17719067.221	2150606.742
9048	17719031.916	2150616.915
9049	17718996.611	2150627.093
9050	17718961.306	2150637.276
9051	17718926.001	2150647.464
9052	17718890.696	2150657.657
9053	17718855.391	2150667.855
9054	17718820.086	2150678.058
9055	17718784.781	2150688.266
9056	17718749.476	2150698.479
9057	17718714.171	2150708.697
9058	17718678.866	2150718.920
9059	17718643.561	2150729.148
9060	17718608.256	2150739.381
9061	17718572.951	2150749.619
9062	17718537.646	2150759.862
9063	17718502.341	2150770.110
9064	17718467.036	2150780.363
9065	17718431.731	2150790.621
9066	17718396.426	2150800.884
9067	17718361.121	2150811.152
9068	17718325.816	2150821.425
9069	17718290.511	2150831.703
9070	17718255.206	2150841.986
9071	17718219.901	2150852.274
9072	17718184.596	2150862.567
9073	17718149.291	2150872.865
9074	17718113.986	2150883.168
9075	17718078.681	2150893.476
9076	17718043.376	2150903.789
9077	17718008.071	2150914.107
9078	17717972.766	2150924.430
9079	17717937.461	2150934.758
9080	17717902.156	2150945.091
9081	17717866.851	2150955.429
9082	17717831.546	2150965.772
9083	17717796.241	2150976.120
9084	17717760.936	2150986.473
9085	17717725.631	2150996.831
9086	17717690.326	2151007.194
9087	17717655.021	2151017.562
9088	17717619.716	2151027.935
9089	17717584.411	2151038.313
9090	17717549.106	2151048.696
9091	17717513.801	2151059.084
9092	17717478.496	2151069.477
9093	17717443.191	2151079.875
9094	17717407.886	2151090.278
9095	17717372.581	2151100.686
9096	17717337.276	2151111.099
9097	17717301.971	2151121.517
9098	17717266.666	2151131.940
9099	17717231.361	2151142.368
9100	17717196.056	2151152.801

LINE	BEARING	DISTANCE
1	S 23°32'44" E	38.89
2	S 21°30'24" E	133.13

LINE	APC LENGTH	DELTA ANGLE	INCHES	INCHES	DELTA ANGLE	INCHES	DELTA ANGLE
C1	53.00	81.5313	76.00	82.00	31.47	5.0121	16.50
C2	53.00	81.49	76.00	82.00	31.47	5.0140	16.50
C3	53.00	81.5227	76.00	82.00	31.47	5.0138	16.50
C4	53.00	81.5373	76.00	82.00	31.47	5.0136	16.50
C5	53.00	81.5025	76.00	82.00	31.47	5.0141	16.50
C6	53.00	81.4875	76.00	82.00	31.47	5.0139	16.50
C7	53.00	81.5000	76.00	82.00	31.47	5.0137	16.50
C8	53.00	81.4900	76.00	82.00	31.47	5.0139	16.50
C9	53.00	81.5050	76.00	82.00	31.47	5.0137	16.50
C10	53.00	81.4950	76.00	82.00	31.47	5.0139	16.50
C11	53.00	81.5100	76.00	82.00	31.47	5.0137	16.50
C12	53.00	81.5000	76.00	82.00	31.47	5.0139	16.50
C13	53.00	81.4900	76.00	82.00	31.47	5.0137	16.50
C14	53.00	81.5050	76.00	82.00	31.47	5.0139	16.50
C15	53.00	81.4950	76.00	82.00	31.47	5.0137	16.50
C16	53.00	81.5100	76.00	82.00	31.47	5.0139	16.50
C17	53.00	81.5000	76.00	82.00	31.47	5.0137	16.50
C18	53.00	81.4900	76.00	82.00	31.47	5.0139	16.50
C19	53.00	81.5050	76.00	82.00	31.47	5.0137	16.50
C20	53.00	81.4950	76.00	82.00	31.47	5.0139	16.50
C21	53.00	81.5100	76.00	82.00	31.47	5.0137	16.50
C22	53.00	81.5000	76.00	82.00	31.47	5.0139	16.50
C23	53.00	81.4900	76.00	82.00	31.47	5.0137	16.50
C24	53.00	81.5050	76.00	82.00	31.47	5.0139	16.50
C25	53.00	81.4950	76.00	82.00	31.47	5.0137	16.50
C26	53.00	81.5100	76.00	82.00	31.47	5.0139	16.50
C27	53.00	81.5000	76.00	82.00	31.47	5.0137	16.50
C28	53.00	81.4900	76.00	82.00	31.47	5.0139	16.50
C29	53.00	81.5050	76.00	82.00	31.47	5.0137	16.50
C30	53.00	81.4950	76.00	82.00	31.47	5.0139	16.50
C31	53.00	81.5100	76.00	82.00	31.47	5.0137	16.50
C32	53.00	81.5000	76.00	82.00	31.47	5.0139	16.50
C33	53.00	81.4900	76.00	82.00	31.47	5.0137	16.50
C34	53.00	81.5050	76.00	82.00	31.47	5.0139	16.50
C35	53.00	81.4950	76.00	82.00	31.47	5.0137	16.50
C36	53.00	81.5100	76.00	82.00	31.47	5.0139	16.50
C37	53.00	81.5000	76.00	82.00	31.47	5.0137	16.50
C38	53.00	81.4900	76.00	82.00	31.47	5.0139	16.50
C39	53.00	81.5050	76.00	82.00	31.47	5.0137	16.50
C40	53.00	81.4950	76.00	82.00	31.47	5.0139	16.50
C41	53.00	81.5100	76.00	82.00	31.47	5.0137	16.50
C42	53.00	81.5000	76.00	82.00	31.47	5.0139	16.50
C43	53.00	81.4900	76.00	82.00	31.47	5.0137	16.50
C44	53.00	81.5050	76.00	82.00	31.47	5.0139	16.50
C45	53.00	81.4950	76.00	82.00	31.47	5.0137	16.50
C46	53.00	81.5100	76.00	82.00	31.47	5.0139	16.50
C47	53.00	81.5000	76.00	82.00	31.47	5.0137	16.50
C48	53.00	81.4900	76.00	82.00	31.47	5.0139	16.50
C49	53.00	81.5050	76.00	82.00	31.47	5.0137	16.50
C50	53.00	81.4950	76.00	82.00	31.47	5.0139	16.50
C51	53.00	81.5100	76.00	82.00	31.47	5.0137	16.50
C52	53.00	81.5000	76.00	82.00	31.47	5.0139	16.50
C53	53.00	81.4900	76.00	82.00	31.47	5.0137	16.50
C54	53.00	81.5050	76.00	82.00	31.47	5.0139	16.50
C55	53.00	81.4950	76.00	82.00	31.47	5.0137	16.50
C56	53.00	81.5100	76.00	82.00	31.47	5.0139	16.50
C57	53.00	81.5000	76.00	82.00	31.47	5.0137	16.50
C58	53.00	81.4900	76.00	82.00	31.47	5.0139	16.50
C59	53.00	81.5050	76.00	82.00	31.47	5.0137	16.50
C60	53.00	81.4950	76.00	82.00	31.47	5.0139	16.50
C61	53.00	81.5100	76.00	82.00	31.47	5.0137	16.50
C62	53.00	81.5000	76.00	82.00	31.47	5.0139	16.50
C63	53.00	81.4900	76.00	82.00	31.47	5.0137	16.50
C64	53.00	81.5050	76.00	82.00	31.47	5.0139	16.50
C65	53.00	81.4950	76.00	82.00	31.47	5.0137	16.50
C66	53.00	81.5100	76.00	82.00	31.47	5.0139	16.50
C67	53.00	81.5000	76.00	82.00	31.47	5.0137	16.50
C68	53.00	81.4900	76.00	82.00	31.47	5.0139	16.50
C69	53.00	81.5050	76.00	82.00	31.47	5.0137	16.50
C70	53.00	81.4950	76.00	82.00	31.47	5.0139	16.50
C71	53.00	81.5100	76.00	82.00	31.47	5.0137	16.50
C72	53.00	81.5000	76.00	82.00	31.47	5.0139	16.50
C73	53.00	81.4900	76.00	82.00	31.47	5.0137	16.50
C74	53.00	81.5050	76.00	82.00	31.47	5.0139	16.50
C75	53.00	81.4950	76.00	82.00	31.47	5.0137	16.50
C76	53.00	81.5100	76.00	82.00	31.47	5.0139	16.50
C77	53.00	81.5000	76.00	82.00	31.47	5.0137	16.50
C78	53.00	81.4900	76.00	82.00	31.47	5.0139	16.50
C79	53.00	81.5050	76.00	82.00	31.47	5.0137	16.50
C80	53.00	81.4950	76.00	82.00	31.47	5.0139	16.50
C81	53.00	81.5100	76.00	82.00	31.47	5.0137	16.50
C82	53.00	81.5000	76.00	82.00	31.47	5.0139	16.50
C83	53.00	81.4900	76.00	82.00	31.47	5.0137	16.50
C84	53.00	81.5050	76.00	82.00	31.47	5.0139	16.50
C85	53.00	81.4950	76.00	82.00	31.47	5.0137	16.50
C86	53.00	81.5100	76.00	82.00	31.47	5.0139	16.50
C87	53.00	81.5000	76.00	82.00	31.47	5.0137	16.50
C88	53.00	81.4900	76.00	82.00	31.47	5.0139	16.50
C89	53.00	81.5050	76.00	82.00	31.47	5.0137	16.50
C90	53.00	81.4950	76.00	82.00	31.47	5.0139	16.50
C91	53.00	81.5100	76.00	82.00	31.47	5.0137	16.50
C92	53.00	81.5000	76.00	82.00	31.47	5.0139	16.50
C93	53.00	81.4900	76.00	82.00	31.47	5.0137	16.50
C94	53.00	81.5050	76.00	82.00	31.47	5.0139	16.50
C95	53.00	81.4950	76.00	82.00	31.47	5.0137	16.50
C96	53.00	81.5100	76.00	82.00	31.47	5.0139	16.50
C97	53.00	81.5000	76.00	82.00	31.47	5.0137	16.50
C98	53.00	81.4900	76.00	82.00	31.47	5.0139	16.50
C99	53.00	81.5050	76.00	82.00	31.47	5.0137	16.50
C100	53.00	81.4950	76.00	82.00	31.47	5.0139	16.50

[illegible]

LINE	BEARING	DISTANCE
L1	N 89°59'38" W	93.60'
L2	N 00°00'00" E	91.28'
L3	S 02°37'08" W	148.42'
L4	N 41°50'15" E	27.19'
L5	N 03°51'15" E	152.65'
L6	N 45°15'51" E	61.91'

[illegible]

NOT FOR CONSTRUCTION
90% CD FOR REVIEW



FERMANDY, FRAZER, WHITE
AND ASSOCIATES, INC.
11804 PACIFIC
SAN ANTONIO, TEXAS 78216
(512) 377-0774



OLMOS BASIN PARK
REHABILITATION AND TRAIL
IMPROVEMENT PROJECT
SAN ANTONIO, TEXAS

Architects

**FORD
POWELL
& CARSON**

FORD POWELL & CARSON, INC.

Architecture
Planning
Landscape Architecture
Interior Design

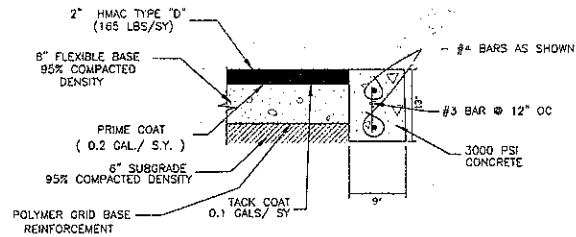
1138 Earl Commerce Street
San Antonio, Texas 78205
210/226-1211

[illegible]

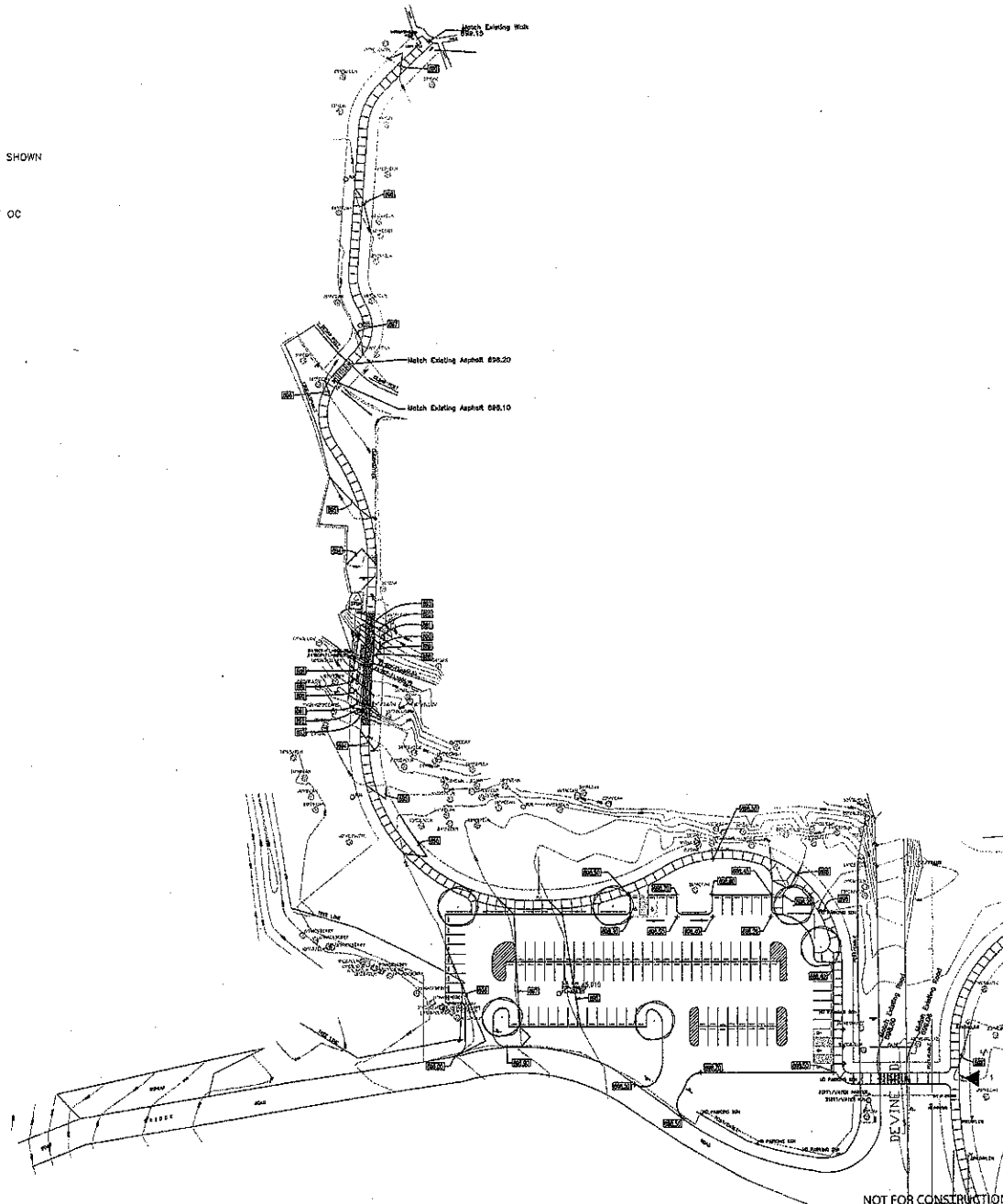
SITE CONTROL PLAN

Size: Number

C1.2



TYPICAL PAVING SECTION AND
FLUSH CURB DETAIL
FOR PARKING LOT



NOT FOR CONSTRUCTION
90% CD FOR REVIEW

1 SITE GRADING PLAN
C2.2 1\"/>

CF
FERRELL, FRANK, FITE
AND ASSOCIATES, INC.
1000 BROAD
SAN ANTONIO, TEXAS 78215
(512) 341-0774



OLMOS BASIN PARK
REHABILITATION AND TRAIL
IMPROVEMENT PROJECT
SAN ANTONIO, TEXAS

Architect
**FORD
POWELL
& CARSON**
FORD POWELL & CARSON, INC.
Architecture
Planning
Landscape Architecture
Interior Design
1138 East Commerce Street
San Antonio, Texas 78205
210/228-1219

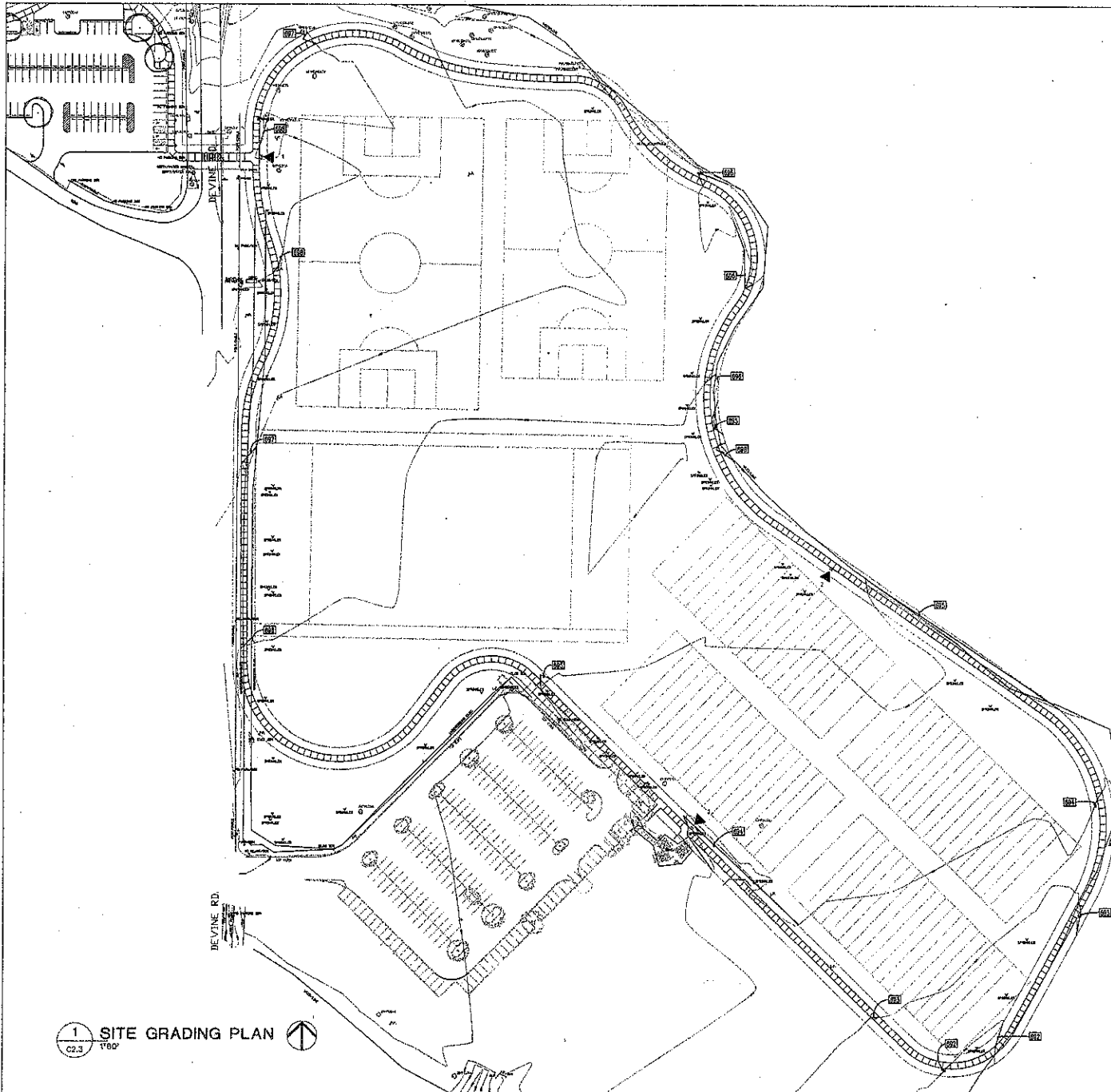
Revisions		
Mark	Date	Description

Date: 8.31.06
Project Number: 03-109
Sheet Title: SITE GRADING PLAN
Checked By: ABF
Drawn By: DFB

SITE GRADING
PLAN

Sheet Number

C2.2



Consultant



FORD POWELL & CARSON, INC.
200 ARROYO DRIVE
18024 RAINBOW
SAN ANTONIO, TEXAS 78238
(817) 377-0774



OLMOS BASIN PARK
REHABILITATION AND TRAIL
IMPROVEMENT PROJECT
SAN ANTONIO, TEXAS

Architects

**FORD
POWELL
& CARSON**

FORD POWELL & CARSON, INC.

Architecture
Planning
Landscape Architecture
Interior Design

1118 East Commerce Street
San Antonio, Texas 78205
210/789-1248

Revisions

Mark	Date	Description

Date

8.31.06

Checked by

ABF

Project Number

05-109

Drawn by

DPS

Sheet Title

SITE GRADING PLAN

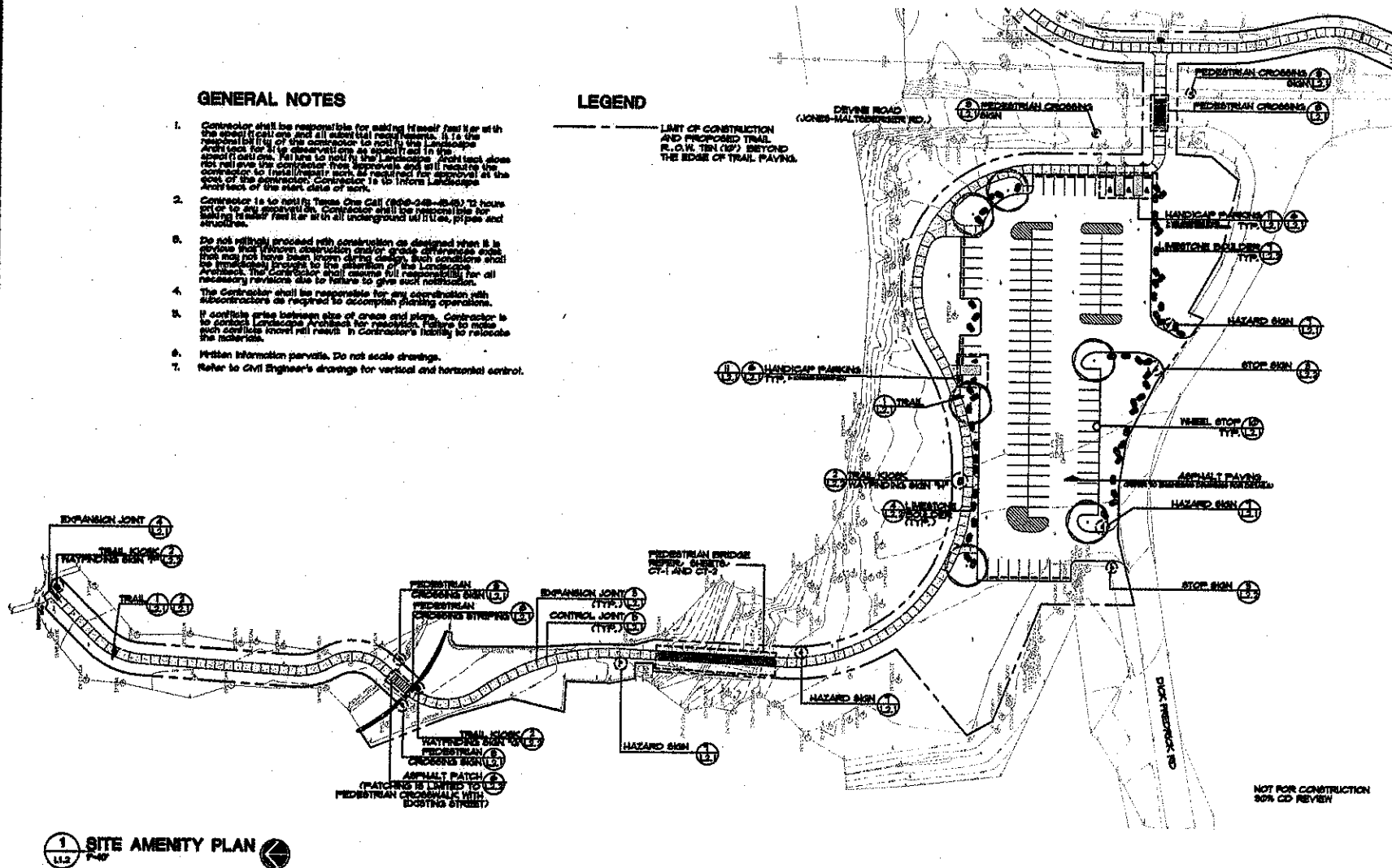
Sheet Number

C2.3

NOT FOR CONSTRUCTION
90% CD FOR REVIEW

1. Contractor shall be responsible for making itself familiar with the specifications and all submittal and request forms. It is the responsibility of the contractor to notify the Landscape Architect for all requests for clarification. It is the responsibility of the contractor to notify the Landscape Architect upon receipt of the specifications. Failure to notify the Landscape Architect of any changes or additions to the specifications shall be the responsibility of the contractor. The contractor shall be responsible for making itself familiar with the specifications and all submittal and request forms. It is the responsibility of the contractor to notify the Landscape Architect for all requests for clarification. It is the responsibility of the contractor to notify the Landscape Architect upon receipt of the specifications. Failure to notify the Landscape Architect of any changes or additions to the specifications shall be the responsibility of the contractor.
2. Contractor is to notify the Town Office (908-288-2444) 24 hours prior to any excavation. Contractor shall be responsible for obtaining all necessary permits for all underground utilities, pipes and structures.
3. Do not initiate proceed with construction as designed when it is obvious that further construction may create conditions such as erosion, landslides, or other hazards. If conditions exist that may be hazardous to the protection of the Landscape Architect, the contractor shall assume full responsibility for all necessary remedial measures and repairs.
4. The Contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations.
5. If conflicts arise between size of areas and plans, Contractor is to notify the Landscape Architect immediately. Failure to make such notification shall result in Contractor's liability to release the materials.
6. Station information provided. Do not scale drawings.
7. Refer to Civil Engineer's drawings for vertical and horizontal control.

*** LIMIT OF CONSTRUCTION
AND PROPOSED TRAIL
R.O.W. TEN (10') BEYOND
THE EDGE OF TRAIL PAVING



NOT FOR CONSTRUCTION
30% CD REVIEW

**OLMOS BASIN PARK
REHABILITATION AND TRAINING
IMPROVEMENT PROJECT**

SAN ANTONIO, TEXAS

**FORD
POWELL
& CARSON**
FORD POWELL & CARSON, INC.

Architects:
Planning
Landmarks Architecture
Interior Design
1400 2nd Avenue West
San Jose, CA 95128
408/281-2224

Revisions		
Mark	Date	Description

Date	9-5-06	Checked by	CC
Project Number	03-109	Drawn by	CC

Site Amenity Plan

Shree Narayana

L1.2

1. REFER TO CIVIL ENGINEERING DRAWINGS FOR HORIZONTAL AND VERTICAL CONTROL.
2. DO NOT SCALE DRAWINGS. WRITTEN INFORMATION PREVAILS.
3. CONTRACTOR SHALL STAKE SITE IMPROVEMENTS AND SECURE LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR FINAL DECISION. CONTRACTOR SHALL NOT PROCEED WITHOUT FINAL DECISION OR DIRECTIVE.

**- LIFT OF CONSTRUCTION
AND PROPOSED TRAIL
R.O.M. TEN (107) BEYOND
THE EDGE OF TRAIL PLAYS**



1 SITE AMENITY PLAN

JOHN M. ALTMAN, JR., F.R.S.
DEPT. OF PHYSICS

Q&A Group LLC
10000 W. 10th Ave. Suite 100
Denver, CO 80202
Tel: 303.733.1111
Fax: 303.733.1112
www.qandagroup.com

**OLMOS BASIN PARK
REHABILITATION AND TRAIL
IMPROVEMENT PROJECT**

SAN ANTONIO, TEXAS

**FORD
POWELL
& CARSON**
FORD POWELL & CARSON, INC.

FORD POWELL & CARLSON, INC.
Architecture
Planning
Landscape Architecture
Interior Design
1216 East Hampshire Street
San Jose, CA 95128
408/281-1200

Mark	Date	Description
------	------	-------------

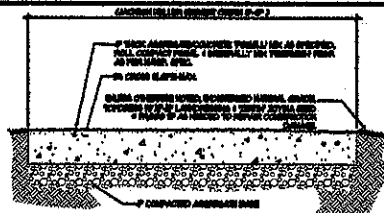
--	--	--

Date	8.31.06	Checked By	CC
Project Number	03-109	Drawn By	CC

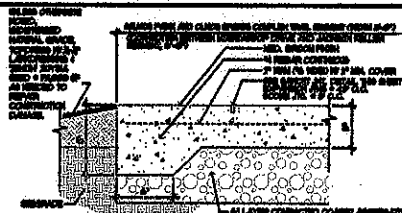
SITE AMENITY PLAN

100

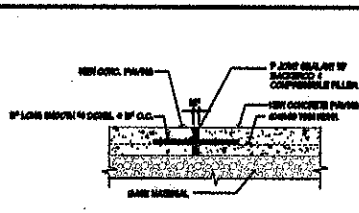
L1.3



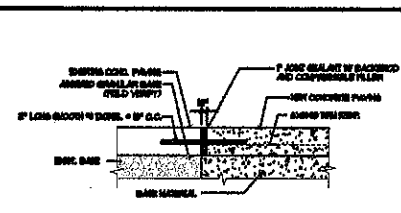
① TRUSMILL TRAIL
SCALE: 1/2"=1'-0"



② SECTION- CONCRETE TRAIL
NOT TO SCALE



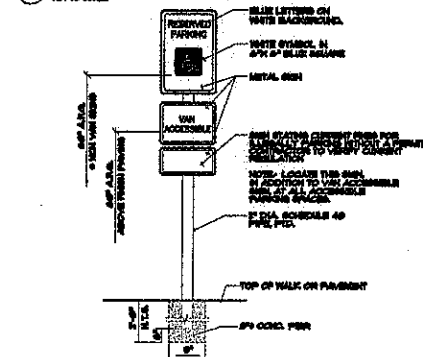
③ CONC. TRAIL EXPANSION JOINT
SCALE: 1/2"=1'-0"



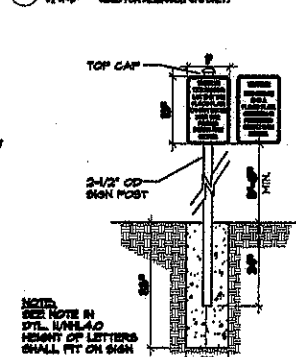
④ SECTION- NEW PAVING & EXISTING
SCALE: 1/2"=1'-0"



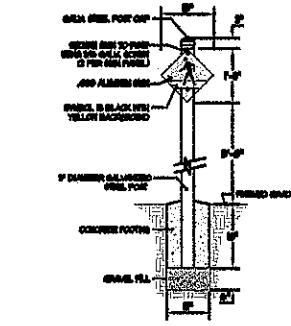
⑤ SECTION- CONTROL JOINT
SCALE: 1/2"=1'-0"



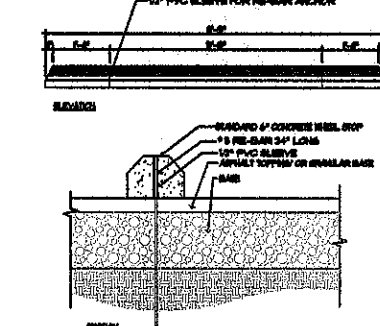
⑥ ACCESSIBLE SIGNAGE
SCALE



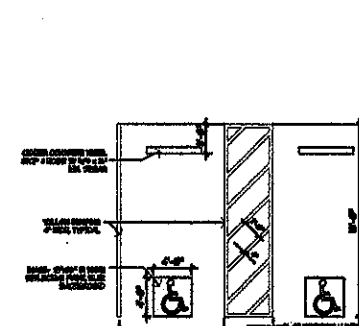
⑦ FLOOD SIGNAGE
SCALE: 1/2"=1'-0"



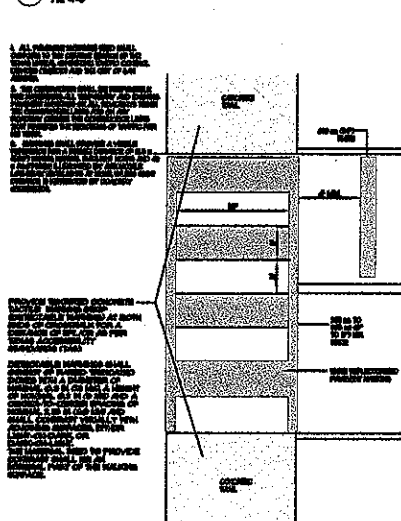
⑧ CROSSWALK SIGN
SCALE: 1/2"=1'-0"



⑨ CONCRETE WHEEL STOP
SCALE: 1/2"=1'-0"



⑩ ACCESSIBLE PARKING
SCALE: 1/2"=1'-0"



⑪ CROSSWALK LAYOUT
NOT TO SCALE

OLMOS BASIN PARK
REHABILITATION AND TRAIL
IMPROVEMENT PROJECT
SAN ANTONIO, TEXAS

FORD
POWELL
&
CARSON
FORD POWELL & CARSON, INC.

DATE: 9-5-06
DRAWN BY: CC
CHECKED BY: CC

PROJECT: 105-109
SHEET: 105-109
SHEET: 105-109

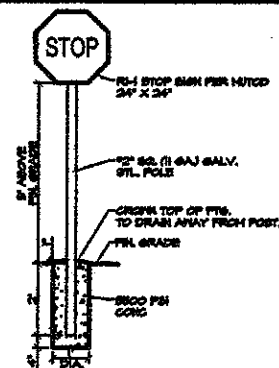
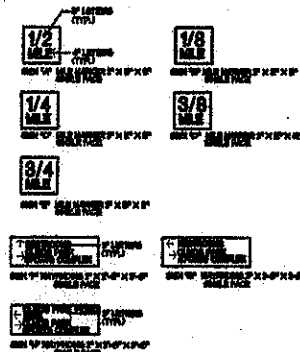
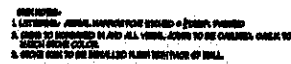
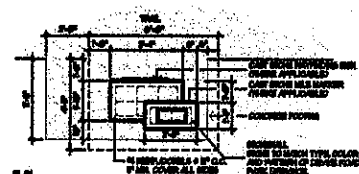
DATE: 9-5-06
DRAWN BY: CC
CHECKED BY: CC

DATE: 9-5-06
DRAWN BY: CC
CHECKED BY: CC

DATE: 9-5-06
DRAWN BY: CC
CHECKED BY: CC

NOT FOR CONSTRUCTION
SEE CD REVISION

L2.1



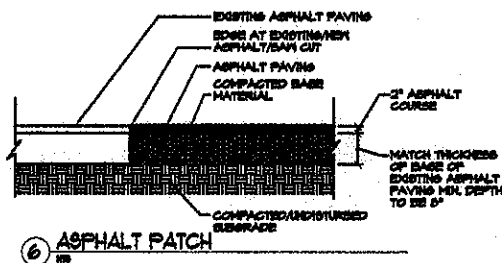
NOTES:

1. SIGN TYPE AND LOCATION ARE SHOWN ON THE SITE PLANS.
2. SIGN SHALL BE ATTACHED TO POST BY MIN. OF 2 HDS. STL. BOLTS SPACED AT 1/4 POINTS OF THE SIGN WIDTH.
3. BOLT SHALL BE 1/2" X 4" WITH GALV. STL. SELF-LOCKING HEX NUT. PLASTIC OR NYLON WASHER SHALL BE USED BETWEEN BOLT AND SIGN FACE (FIRE-RESISTANT).

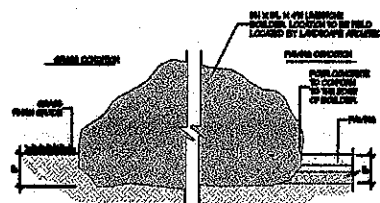
① PARK ENTRY WALL "A"

2 TRAIL KIOSK

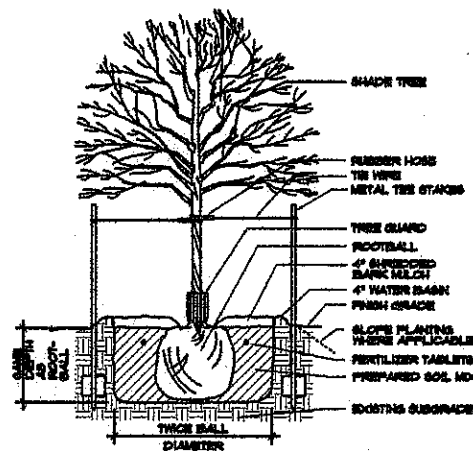
③ STOP SIGN



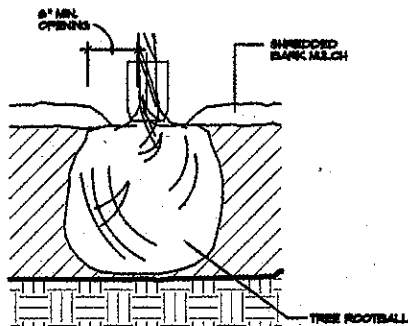
⑥ ASPHALT PATCH



⑦ LIMESTONE BOULDER



8 TREE PLANTING



9 MILCH

PLANTING NOTES

- [illegible]

NOT FOR CONSTRUCTION
DATE OF REVISION

Cof+Z Group LLC
 10000 W. 11th Avenue • #600
 Landscape Architecture
 & Planning
 902 W. Mississippi Dr.
 San Antonio, Texas 78216
 210-366-1917/210-366-0778 fax

**OLMOS BASIN PARK
REHABILITATION AND TRAIL
IMPROVEMENT PROJECT**

SAN ANTONIO, TEXAS

**FORD
POWELL
& CARSON**
FORD POWELL & CARSON, INC.

Architects
Interior Design
240 East Commerce Street
St. Joseph, MO 64506
313-421-1200

Personnel		
Work	Date	Description

Date	8.31.06	Checked By	CC
Project Number	03-109	Drawn By	CC

SITE DETAILS

1. *Journal of the American Medical Association*, 1997; 278: 1039-1044.

L2.2

L3.2

LANDSCAPE ORDINANCE - 95 POINTS REQUIRED

(1) TREE PRESERVATION

CORNER STREET (WARD 28 public road)

50' x 40' canopy 3 x 4 p.c.s. = 4 p.c.s.

5' to 40' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

4' to 5' canopy 3 x 4 p.c.s. = 4 p.c.s.

PLANTING NOTES (Keyed Notes)

1. REFER TO L3.4 FOR TREE PRESERVATION CALCULATIONS, NOTES, PLANTING NOTES AND DETAILS

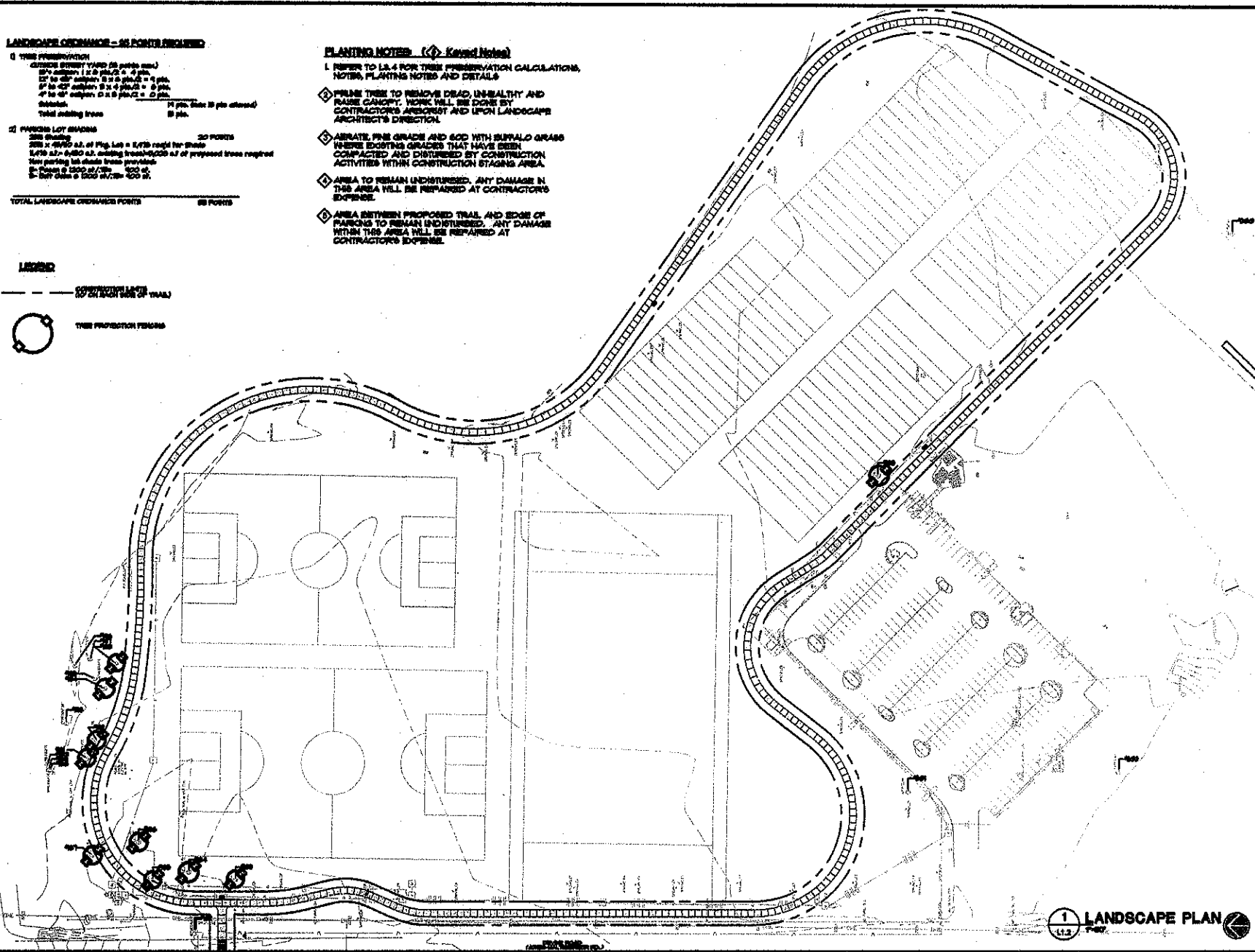
- PRUNE TREE TO REMOVE DEAD, UNHEALTHY AND RAISE CANOPY. WORK WILL BE DONE BY CONTRACTOR'S ARBORIST AND UPON LANDSCAPE ARCHITECT'S DIRECTION.
- APPLY FINE GRADE AND SOIL WITH BUFFALO GRASS WHERE EXISTING GRASSES THAT HAVE BEEN COMPACTED AND DISTURBED BY CONSTRUCTION ACTIVITIES WITHIN CONSTRUCTION STAGING AREA.
- AREA TO REMAIN UNDISTURBED. ANY DAMAGE IN THIS AREA WILL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- AREA BETWEEN PROPOSED TRAIL AND EDGE OF PARKING TO REMAIN UNDISTURBED. ANY DAMAGE WITHIN THIS AREA WILL BE REPAIRED AT CONTRACTOR'S EXPENSE.

LEGEND

CONSTRUCTION LINE

10' ON EACH SIDE OF TRAIL

TREE PRESERVATION PERMITS



1 LANDSCAPE PLAN
L3.3

FORD POWELL & CARSON
FORD POWELL & CARSON, INC.

OLMOS BASIN PARK
REHABILITATION AND TRAIL
IMPROVEMENT PROJECT
SAN ANTONIO, TEXAS

DATE: 8.31.05
PROJECT NUMBER: 03-109
SCALE: 1"=40'

LANDSCAPE PLAN AND TREE PRESERVATION

L3.3

1 JACKSON KELLER TREE TREE PRESERVATION CALCULATIONS

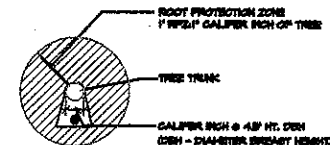
TREE #	DESCRIPTION	TREES 6"		TREES 6"	
		MARKETPLACE TREES 6" - 24" DBH	HERITAGE TREES 24" - 36" DBH	MARKETPLACE TREES 6" - 24" DBH	HERITAGE TREES 24" - 36" DBH
1					
2					
3					
4					
5					
6					
7					
8					
9					
10					
11					
12					
13					
14					
15					
16					
17					
18					
19					
20					
21					
22					
23					
24					
25					
26					
27					
28					
29					
30					
31					
32					
33					
34					
35					
36					
37					
38					
39					
40					
41					
42					
43					
44					
45					
46					
47					
48					
49					
50					
51					
52					
53					
54					
55					
56					
57					
58					
59					
60					
61					
62					
63					
64					
65					
66					
67					
68					
69					
70					
71					
72					
73					
74					
75					
76					
77					
78					
79					
80					
81					
82					
83					
84					
85					
86					
87					
88					
89					
90					
91					
92					
93					
94					
95					
96					
97					
98					
99					
100					

2 DICK FREDRICK ROAD PARKING AREA TREE PRESERVATION CALCULATIONS

TREE #	DESCRIPTION	TREES 6"		TREES 6"	
		MARKETPLACE TREES 6" - 24" DBH	HERITAGE TREES 24" - 36" DBH	MARKETPLACE TREES 6" - 24" DBH	HERITAGE TREES 24" - 36" DBH
1					
2					
3					
4					
5					
6					
7					
8					
9					
10					
11					
12					
13					
14					
15					
16					
17					
18					
19					
20					
21					
22					
23					
24					
25					
26					
27					
28					
29					
30					
31					
32					
33					
34					
35					
36					
37					
38					
39					
40					
41					
42					
43					
44					
45					
46					
47					
48					
49					
50					
51					
52					
53					
54					
55					
56					
57					
58					
59					
60					
61					
62					
63					
64					
65					
66					
67					
68					
69					
70					
71					
72					
73					
74					
75					
76					
77					
78					
79					
80					
81					
82					
83					
84					
85					
86					
87					
88					
89					
90					
91					
92					
93					
94					
95					
96					
97					
98					
99					
100					

2 SPORTS FIELDS TREE PRESERVATION CALCULATIONS

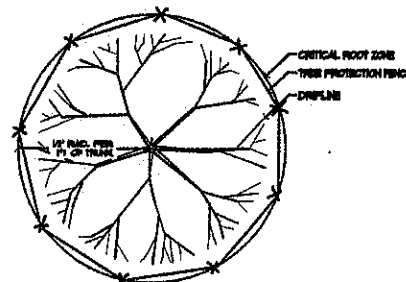
TREE #	DESCRIPTION	TREES 6"		TREES 6"	
		MARKETPLACE TREES 6" - 24" DBH	HERITAGE TREES 24" - 36" DBH	MARKETPLACE TREES 6" - 24" DBH	HERITAGE TREES 24" - 36" DBH
1					
2					
3					
4					
5					
6					
7					
8					
9					
10					
11					
12					
13					
14					
15					
16					
17					
18					
19					
20					
21					
22					
23					
24					
25					
26					
27					
28					
29					
30					
31					
32					
33					
34					
35					
36					
37					
38					
39					
40					
41					
42					
43					
44					
45					
46					
47					
48					
49					
50					
51					
52					
53					
54					
55					
56					
57					
58					
59					
60					
61					
62					
63					
64					
65					
66					
67					
68					
69					
70					
71					
72					
73					
74					
75					
76					
77					
78					
79					
80					
81					
82					
83					
84					
85					
86					
87					
88					
89					
90					
91					
92					
93					
94					
95					
96					
97					
98					
99					
100					



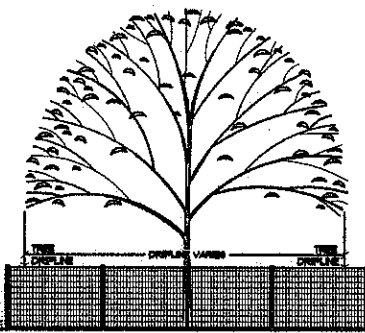
PLAN VIEW

1. All trees to be preserved shall be protected against injury or damage, including soil compaction, trampling or damage to roots, limbs, or branches during construction operations. A minimum of 30" of the RPZ shall be preserved at natural grade. No existing trees, including roots, shall be removed, cut, disturbed, or construction equipment shall come closer to the trunk than 1/2 the RPZ radius.
2. Protect all trees within 30" of improvements with temporary fencing.
3. Erect temporary fencing before commencing site preparation work. Maintain fencing during the construction period. Remove fencing only when all hardwork construction work is completed.
4. Protect all existing trees from disposal or damage of construction materials or vehicle parking. Protect trees from spreading of spilled soil over RPZ.
5. Maintain and maintain soil, or 6" inch of RPZ.
6. Repair preserved trees damaged by construction operations per current industry standards. All broken branches and exposed roots of existing trees shall be cut cleanly. All cut spaces must be painted with tree wound dressing within 30 days.
7. The proposed finished grade and elevation within the RPZ of existing trees shall not be raised or lowered more than three (3) inches. Finished grade and elevation above or below 3" shall be noted on the site plan and noted on the RPZ.
8. Remove trees scheduled to remain that are removed or damaged beyond repair by construction operations, as determined by Landscape Architect or City Representative, with trees of similar size and species. Cost for tree replacement shall be determined in accordance with the Tree Substitution Formula as described in 14' table to the Professional Evaluation of Landscape Trees, Specimen Status, and Endorsement as published by the International Society of Arboriculture.
9. All costs for repair and replacement of preserved trees damaged by construction operations or lack of adequate protection during construction shall be borne by Contractor.

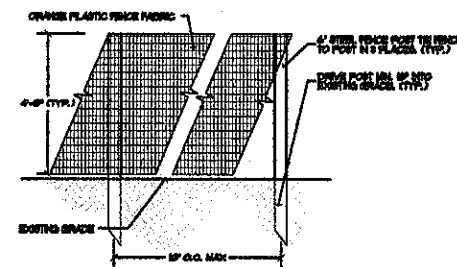
8 PLAN - TREE PROTECTION



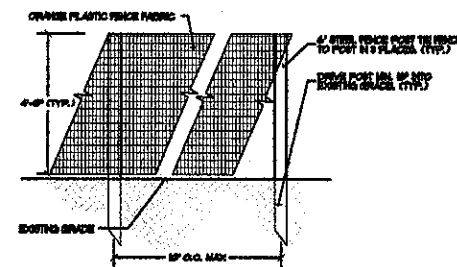
9 ELEV. - TREE PROTECTION



11 ROOT PROTECTION ZONE (RPZ)



10 TREE PROTECTION FENCING



OLMOS BASIN PARK
REHABILITATION AND TRAIL
IMPROVEMENT PROJECT
SAN ANTONIO, TEXAS

FORD POWELL & CARRON, INC.

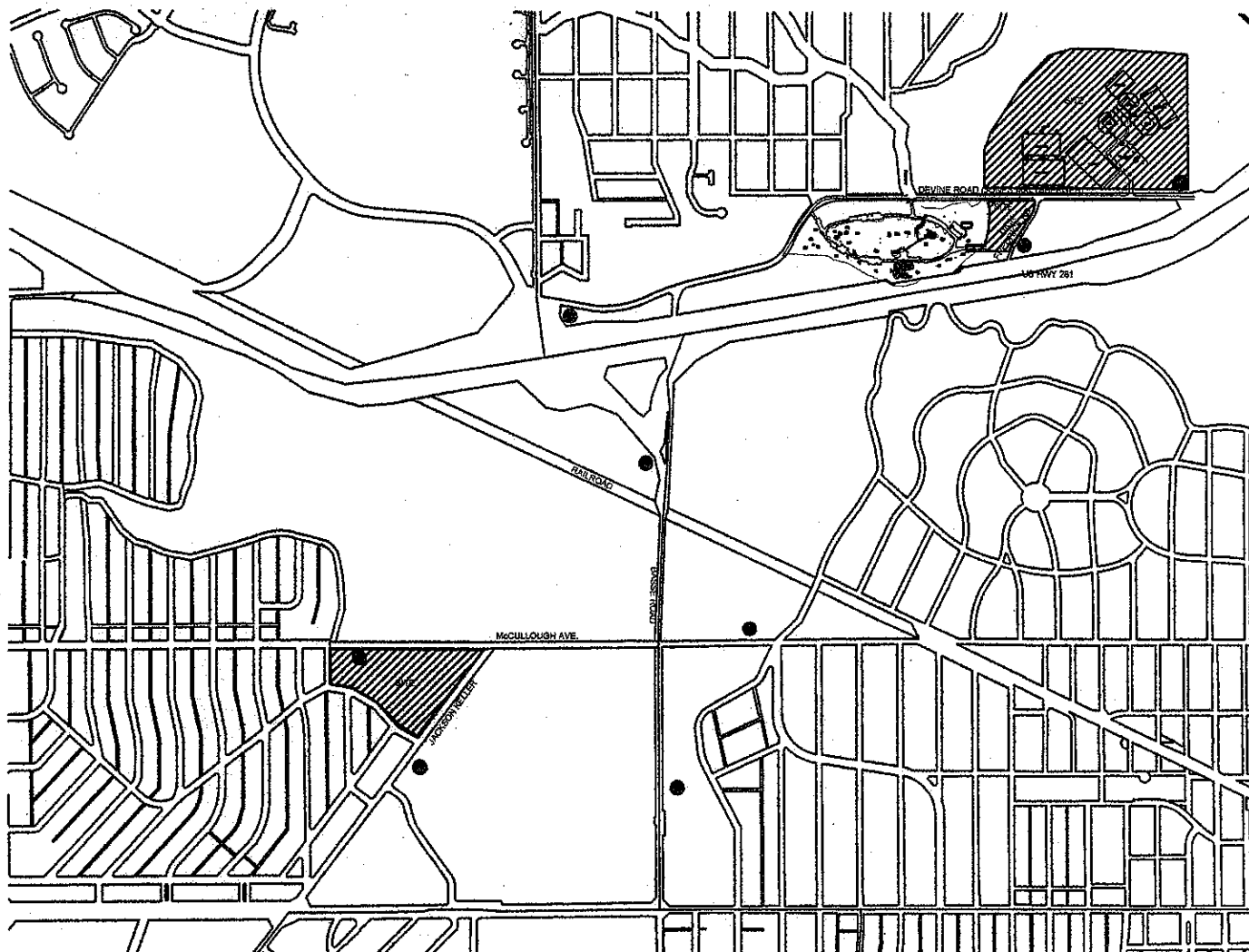
Architect
Landscape Architect
Civil Engineer
Surveyor
Tree Consultant
Soil Consultant
Water Consultant
Air Quality Consultant
Noise Consultant
Traffic Consultant
Historic Consultant
Archaeological Consultant
Geotechnical Consultant
Environmental Consultant
Ecological Consultant
Parks and Recreation Consultant
Public Works Consultant
Transportation Consultant
Urban Planning Consultant
Zoning Consultant
Community Development Consultant
Economic Development Consultant
Housing Consultant
Health and Human Services Consultant
Social Services Consultant
Cultural and Arts Consultant
Recreation Consultant
Parks and Recreation Consultant
Public Works Consultant
Transportation Consultant
Urban Planning Consultant
Zoning Consultant
Community Development Consultant
Economic Development Consultant
Housing Consultant
Health and Human Services Consultant
Social Services Consultant
Cultural and Arts Consultant
Recreation Consultant

NOTES

Project Number: 05-109

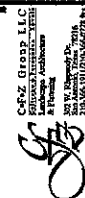
Tree Preservation Calculations and

Sheet Number: L3.4



LEGEND
 ● PARK IDENTITY MARKER
 REFER TO DETAIL 1 OF L2.2

1 OLMO BASIN PARK PLAN
 NTS



OLMO BASIN PARK
 REHABILITATION AND TRAIL
 IMPROVEMENT PROJECT
 SAN ANTONIO, TEXAS

**FORD
 POWELL
 & CARSON**
 FORD POWELL & CARSON, INC.
 10000 N. LOOP WEST, SUITE 100
 DALLAS, TEXAS 75243
 (214) 343-1000
 FAX (214) 343-1001
 WWW.FORDPOWELLANDCARSON.COM

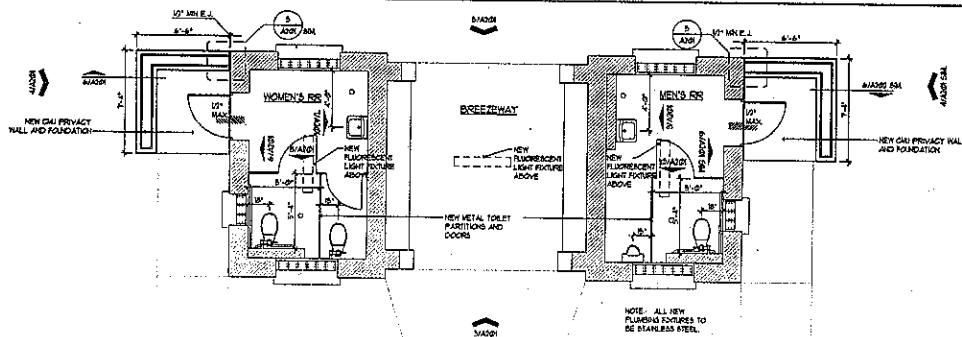
Revisions	Word	Date	Description

Date	9.5.06	Created by	CPC
Project Number	03-109	Drawn by	CPC

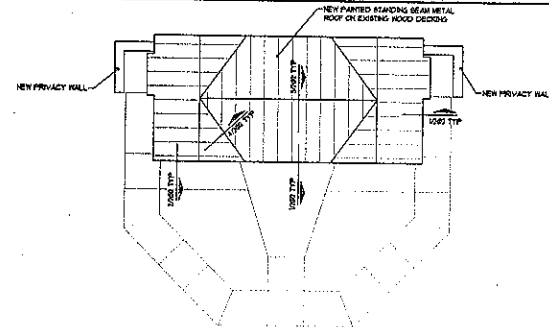
Sheet Title
 PARK
 IDENTITY
 MARKERS

Sheet Number

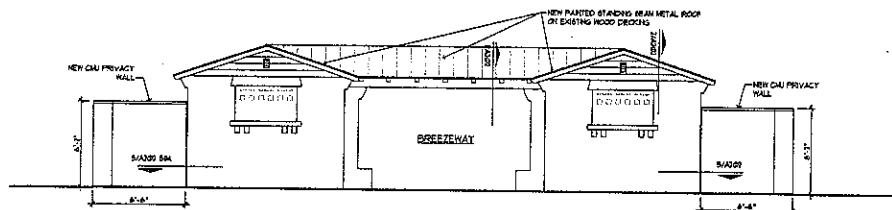
L4.1



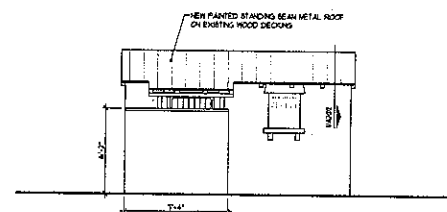
1 FLOOR PLAN
SCALE: 1/4"=1'-0"



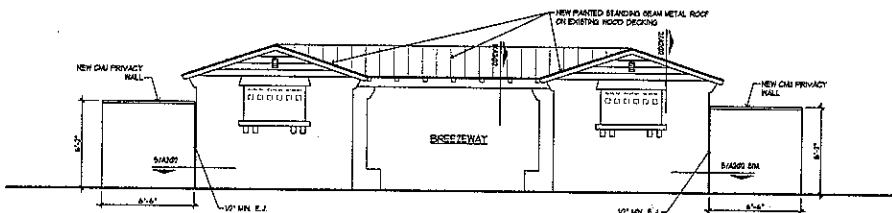
2 ROOF PLAN
SCALE: 1/4"=1'-0"



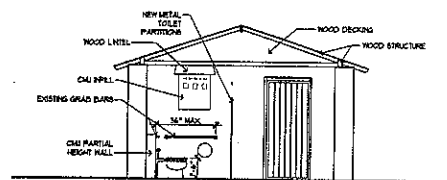
3 WEST ELEVATION
SCALE: 1/4"=1'-0"



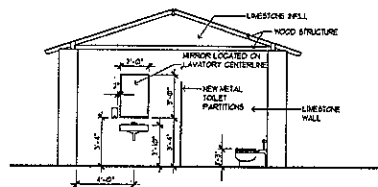
4 NORTH ELEVATION (SOUTH ELEV. SIM.)
SCALE: 1/4"=1'-0"



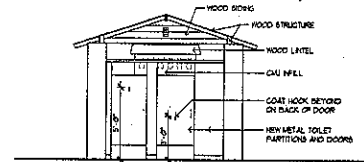
5 EAST ELEVATION
SCALE: 1/4"=1'-0"



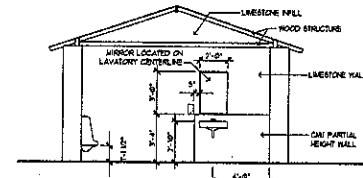
6 WOMEN'S INTERIOR ELEVATION, MEN'S- SIM.
SCALE: 1/4"=1'-0"



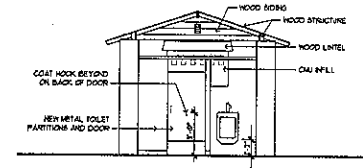
7 WOMEN'S INTERIOR ELEVATION
SCALE: 1/4"=1'-0"



8 WOMEN'S INTERIOR ELEVATION
SCALE: 1/4"=1'-0"



9 MEN'S INTERIOR ELEVATION
SCALE: 1/4"=1'-0"



10 MEN'S INTERIOR ELEVATION
SCALE: 1/4"=1'-0"

Consultant

OLMOS BASIN PARK REHABILITATION AND TRAIL IMPROVEMENT PROJECT SAN ANTONIO, TEXAS

ARCHITECT
**FORD
POWELL
& CARSON**
FORD POWELL & CARSON, INC.
Architecture
Planning
Landscape Architecture
Interior Design

1139 East Commerce Street
San Antonio, Texas 78205
210/228-1248



REVISIONS

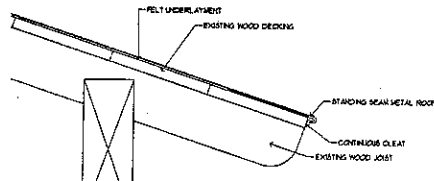
MARK	DATE	DESCRIPTION

Date: 08/31/06
Checked By: RLB
Project Number: 79802
Drawn By: KMJ

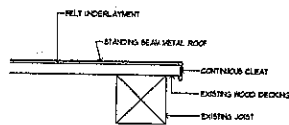
Sheet Title
**RESTROOM
NEW CONSTRUCTION**

Sheet Number

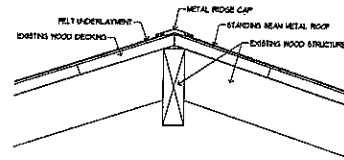
A201



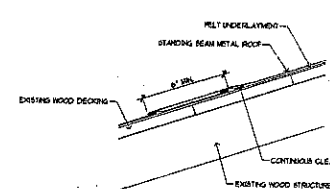
① EAVE DETAIL
SCALE: 3/4"=1'-0"



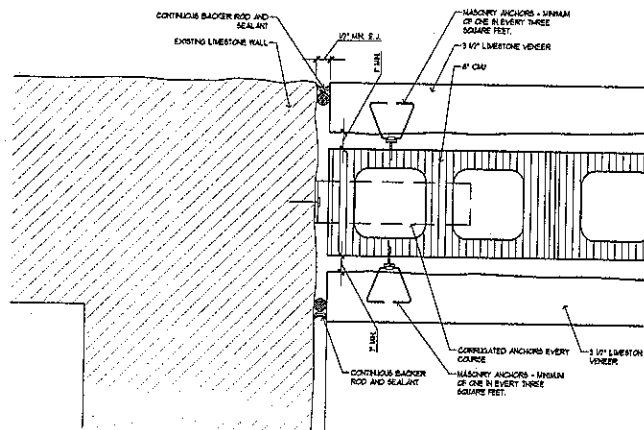
② RAKE DETAIL
SCALE: 3/4"=1'-0"



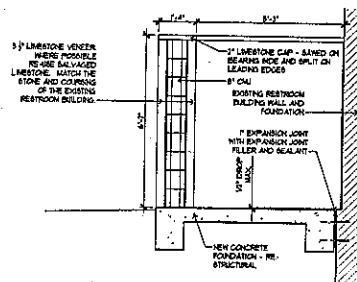
③ RIDGE DETAIL
SCALE: 3/4"=1'-0"



④ VALLEY DETAIL
SCALE: 3/4"=1'-0"



⑤ PLAN DETAIL
SCALE: 3/4"=1'-0"



⑥ SECTION
SCALE: 1/2"=1'-0"

PANT SCHEDULE

LOCATION	COLOR
INTERIOR PARTIAL HEIGHT CM WALLS	1
EXTERIOR WOOD AT EAVES AND RAKES INCLUDING DECKING, JOISTS, TOP AND SUPPORTS	2
EXTERIOR FACE OF WOOD SIDING, WOOD VENT AND WOOD ROOF	3
EXTERIOR FACE OF WOOD SIDING AND WOOD VENT	4
EXTERIOR FACE OF WOOD WINDOW LATHS	5
EXTERIOR FACE OF WOOD WINDOW LATHS	6
EXTERIOR FACE OF CM WINDOW LATHS	7
WOOD DECKING AND JOISTS AT CEILING	8
METAL GATES, FRAMES AND ASSEMBLIES	9
INTERIOR LIMESTONE FILL (ADHESIVE PLATE HEIGHT)	10
STANDING SEAM METAL ROOF	11

Consultant

OLMOS BASIN PARK REHABILITATION AND TRAIL IMPROVEMENT PROJECT SAN ANTONIO, TEXAS

Architects
**FORD
POWELL
& CARSON**
FORD POWELL & CARSON, INC.
Architecture
Planning
Landscape Architecture
Interior Design
1138 East Congress Street
San Antonio, Texas 78203
210/220-1248



REVISIONS

MARK DATE DESCRIPTION

Date: 08/31/06 Checked By: RLB
Project Number: 79902 Drawn By: KLM

Sheet Title
**RESTROOM
NEW CONSTRUCTION
DETAILS**

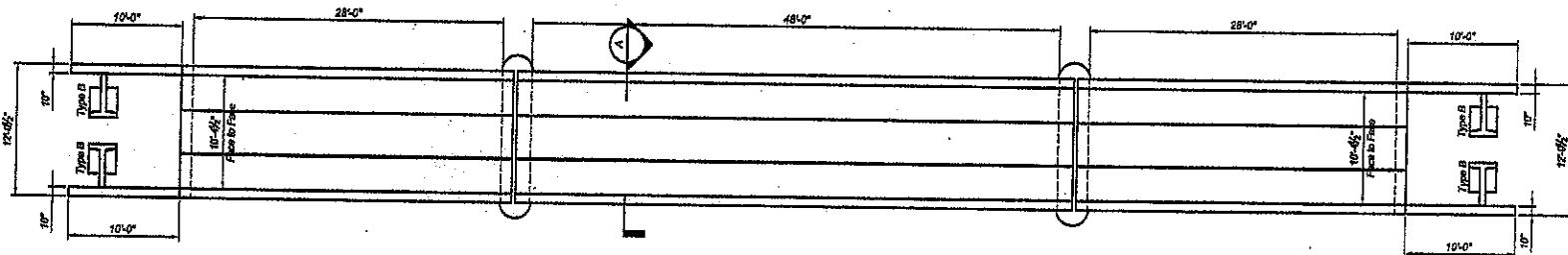
Sheet Number

A202

Installation Drawings sheet index

CT1	TITLE SHEET AND ISOMETRIC VIEW
CT2	BRIDGE PLAN, FOUNDATION PLAN, DETAILS AND NOTES

OLMOS PARK BASIN TRAIL



PLAN VIEW

NOTES

GENERAL NOTES:

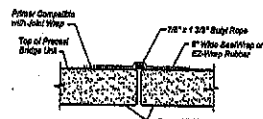
- This bridge has been designed for general site conditions. The project engineer shall be responsible for the structure's suitability to the existing site conditions and for the typicality evaluation - including error and correction of all conditions.
- Prior to construction, contractor must verify all elevations shown through the alignment.
- Only CONTECH Bridge Solutions Inc. or the CONSPAN® approved contractor in Texas may provide the structure designed in accordance with these plans.
- The use of another precast structure with the design assumptions used for the CONSPAN® structure may need to be checked design action. Use of any other precast structure with this design and drawings voids any certification of this design and warranty. CONTECH Bridge Solutions Inc. assumes no liability for design of any alternate or similar type structures.
- Alternate structures may be considered, provided that signed and sealed design drawings (and calculations) are submitted to the engineer 2 weeks prior to the bid date for review and approval.
- Proposed alternate to a CONSPAN® Bridge System must submit all their own (2) independently verified full scale load tests that confirm the proposed design methodology of the three alternate structures. The proposed alternate, upon satisfactory verification of design methodology, may be constructed as acceptable alternate.

DESIGN DATA

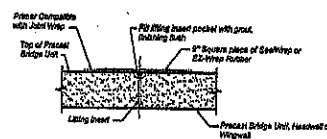
Design Loading:
Bridge Unit: HS20-44
Mechanics: End Pressure + Ps (double End Load)
Vibrations: End Pressure + Ps (double End Load)
Design FH (Height) 6' min. to 10' max.
Span length of spans to be of precast.
Design (Load) Load Factor per AASHTO Specifications
Foundation Design by Others

MATERIALS

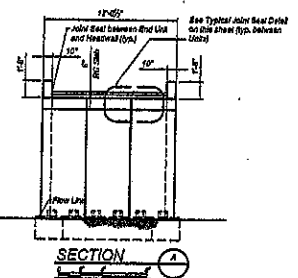
Precast units shall be constructed and handled in accordance with CONSPAN® Specifications. Concrete for footings shall have a minimum compressive strength of 4000 psi. Reinforcing steel for footings shall conform to ASTM A615 or A615-Grade 60.



TYPICAL JOINT SEAL DETAIL



TYPICAL LIFT POINT SEALING DETAIL



SECTION

NOTICE: The design and information shown on this drawing is provided as a service to the project owner, engineer and contractor by CONTECH Bridge Solutions Inc. and is not to be used for any other purpose without the prior written approval of CONTECH Bridge Solutions Inc. Any use without the prior written approval of CONTECH Bridge Solutions Inc. shall be at the user's own risk and the user agrees to indemnify, defend and hold harmless CONTECH Bridge Solutions Inc. from and against any and all claims, damages, and expenses, including, but not limited to, reasonable attorney's fees, arising from such use, reproduction or modification.

If there is a discrepancy between the supplied information and actual field conditions, the user shall be responsible for the discrepancy. These discrepancies shall be reported to CONTECH Bridge Solutions Inc. immediately for the resolution of the design. CONTECH Bridge Solutions Inc. accepts no liability for design based on inaccurate information supplied by others.

NO.	REVISIONS	DATE	BY	CHKD	APPD
1					
2					
3					
4					
5					
6					
7					
8					
9					
10					

CONTECH Bridge Solutions Inc.
Regional Engineering Services
6430 University Executive Park Drive
Suite 600
Charlotte, NC 28262
704-545-6120
704-545-6522 fax
800-826-3959

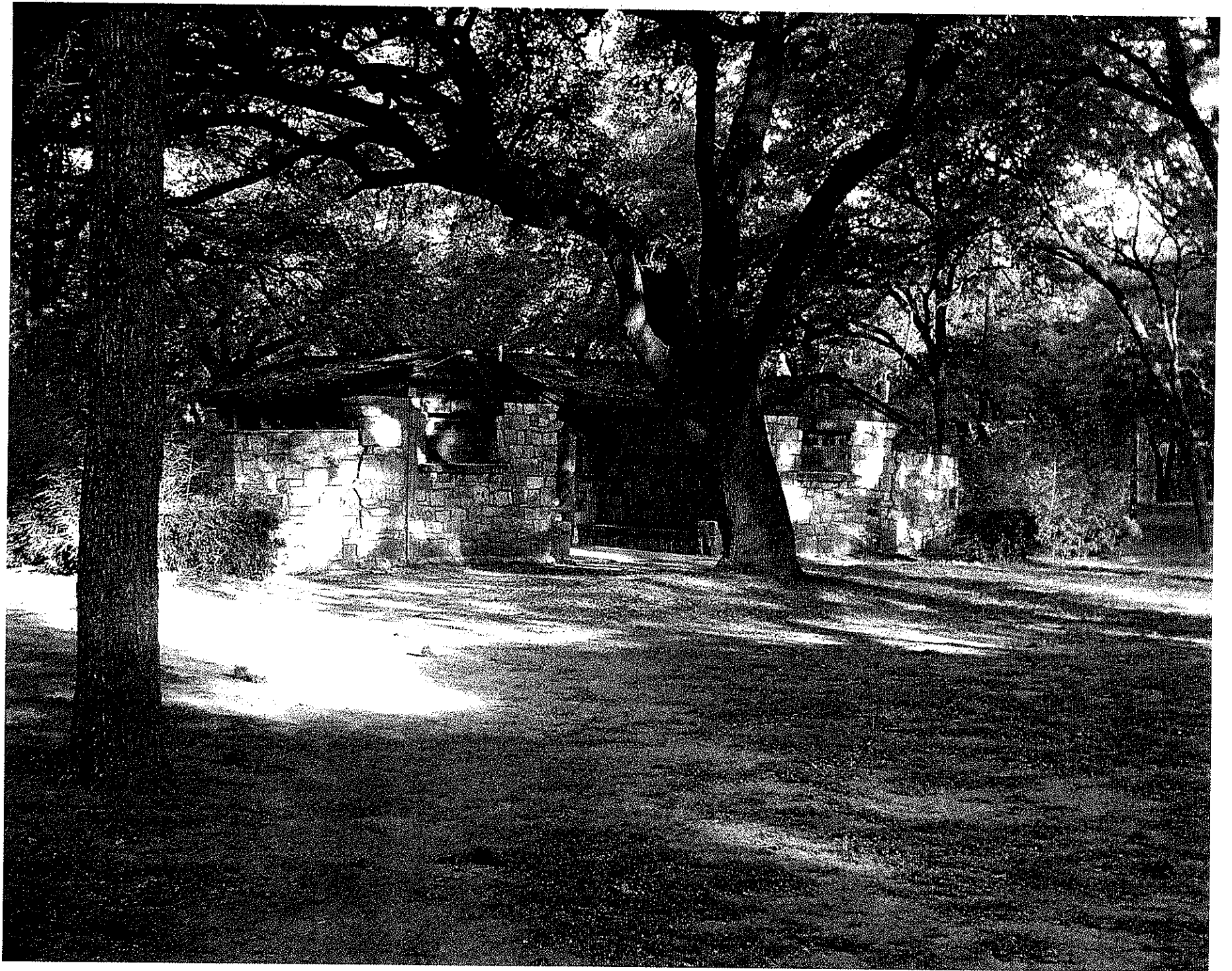
CONTECH
BRIDGE SOLUTIONS INC.

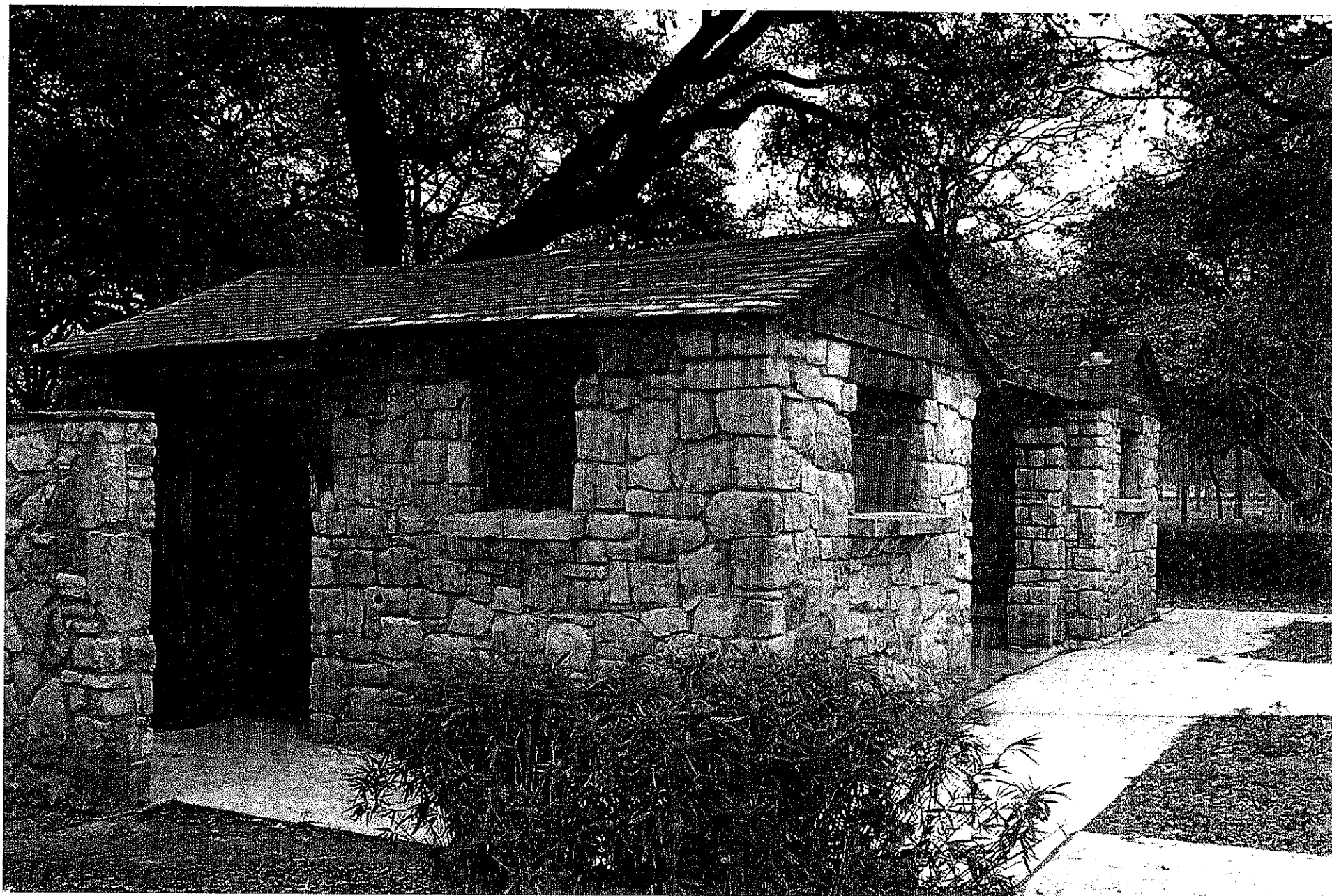
TITLE SHEET AND ISOMETRIC VIEW

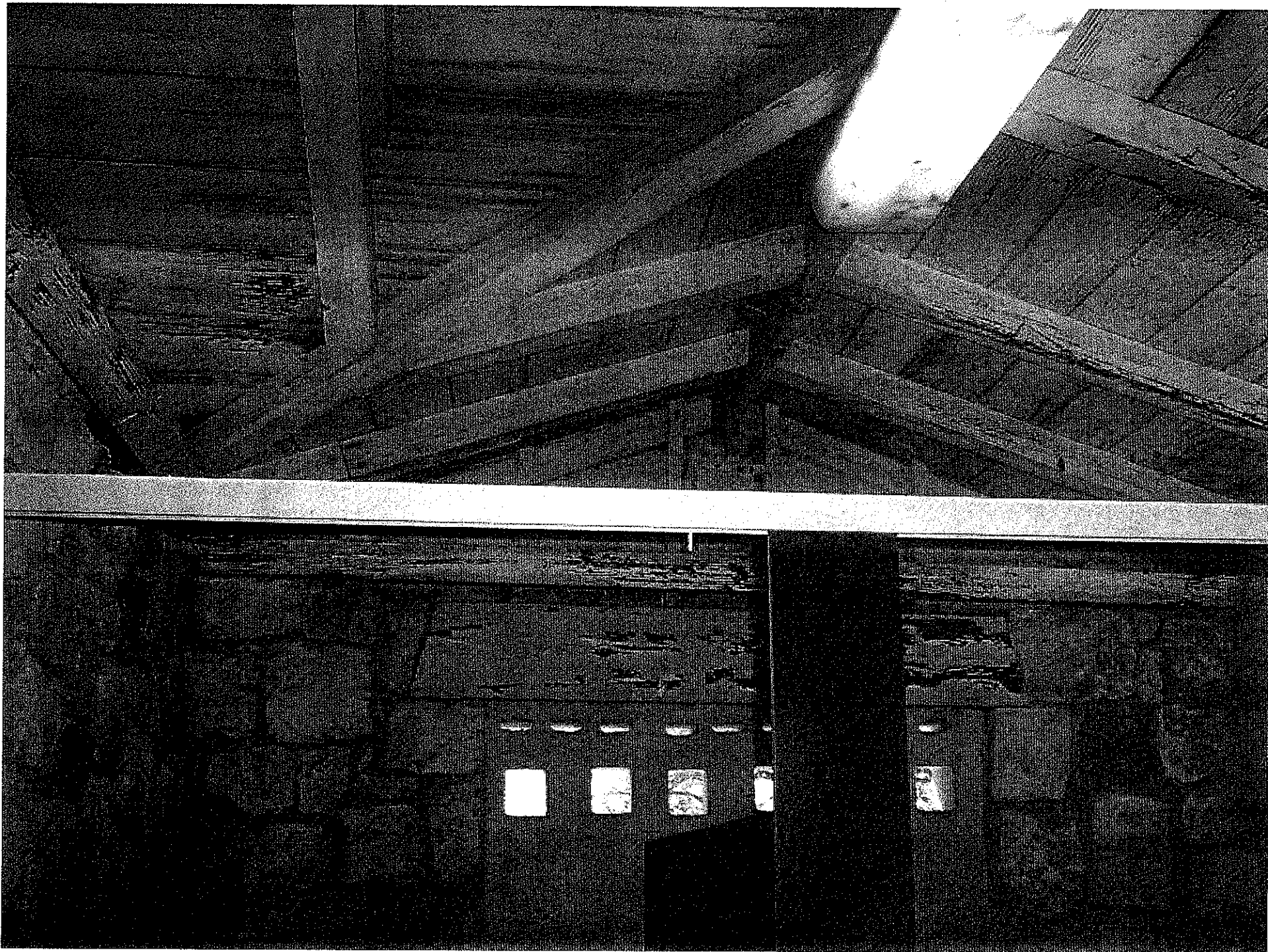
OLMOS PARK BASIN TRAIL

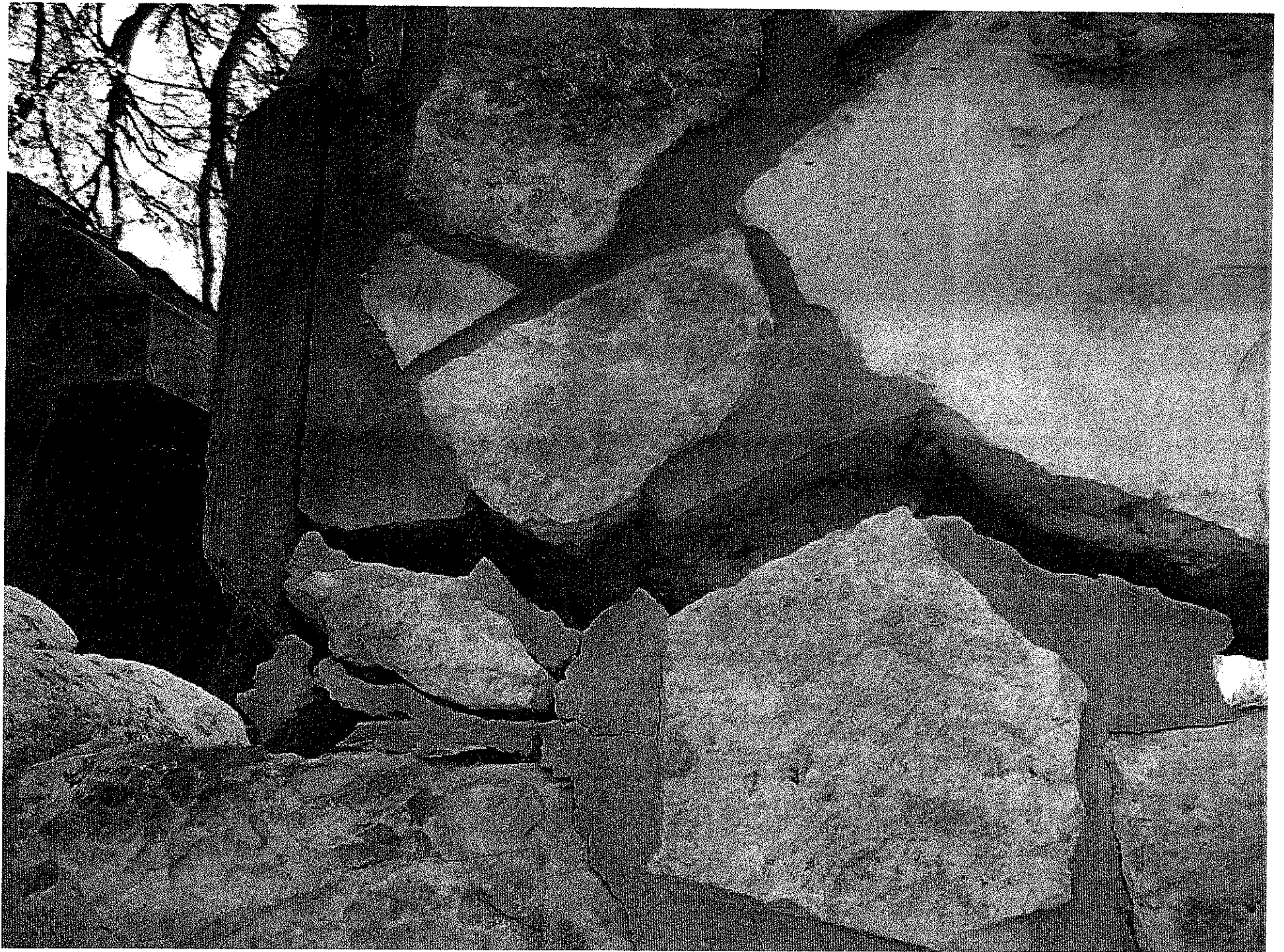
CONSPAN®
BRIDGE SYSTEMS

APPROVAL ONLY: NOT FOR CONSTRUCTION	
Design	DMB
Drawn	DMB
Checked	DMB
Date	9/16/08
Sheet No.	13661
Sheet	CT1



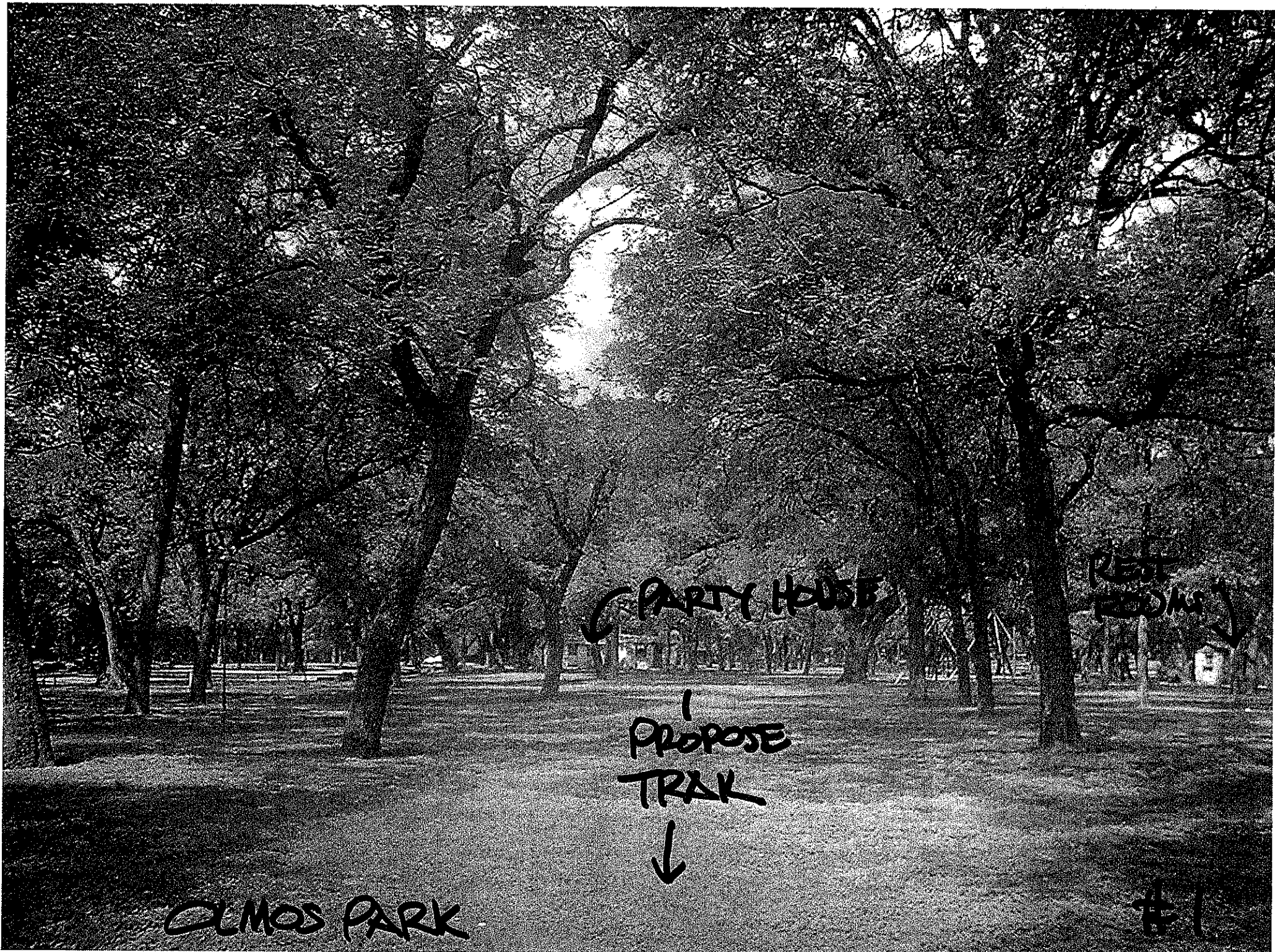






JACKSON KELLER
TRAIL SEGMENT





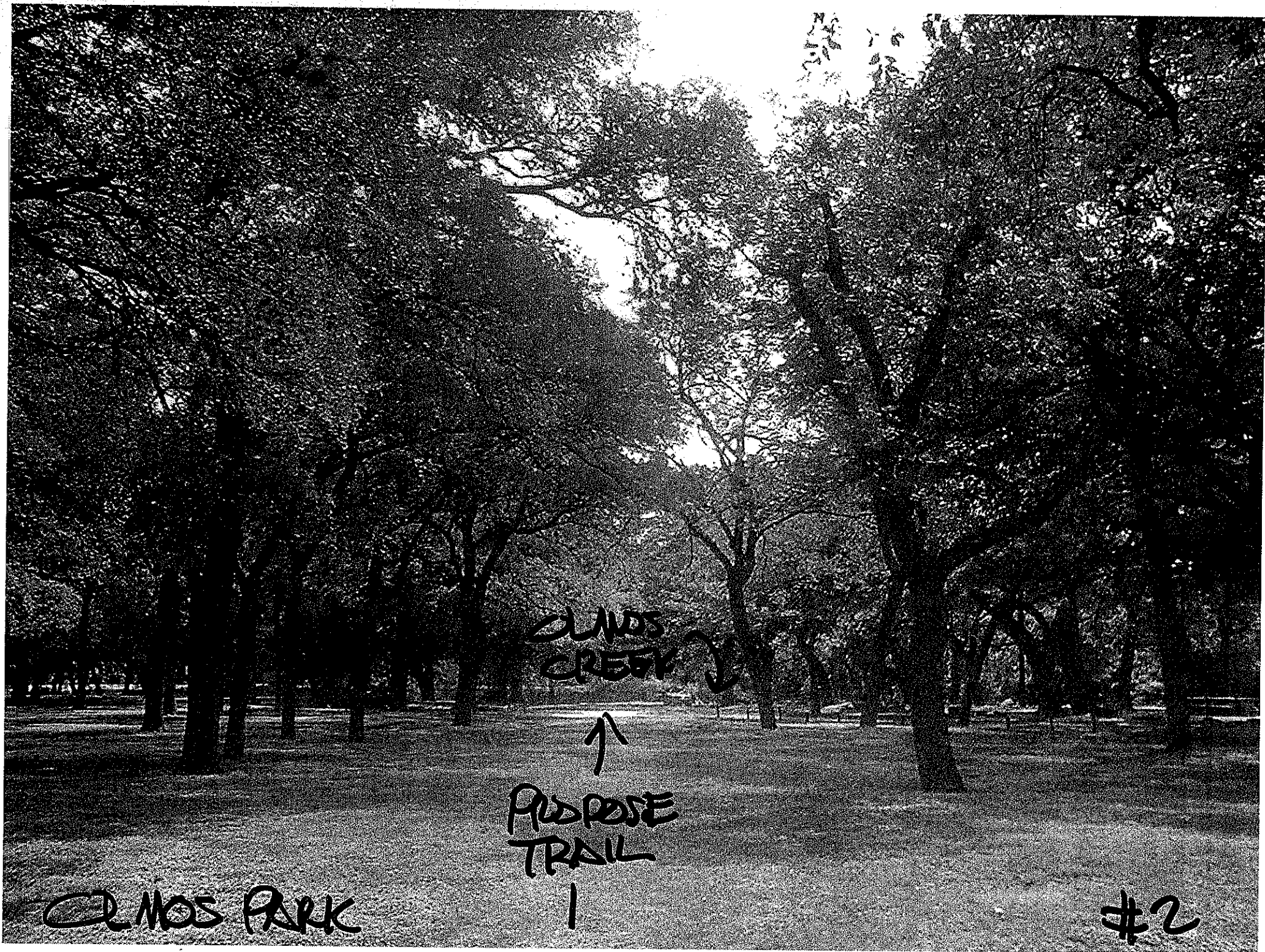
PARTY HOUSE

REST ROOMS

PROPOSE
TRAIL
↓

OLMOS PARK

#1



CLAY'S
CREEK



ROOSE
TRAIL

1

CLAY'S PARK

#2



REMOVE
EXISTING LOW
WATER CROSSING

A black and white photograph of a wooded area. A stream flows from the left towards the center. On the right bank, there is a concrete structure that appears to be a low water crossing or a small bridge. The area is surrounded by dense trees and foliage. Handwritten text is overlaid on the image, indicating a plan to remove the existing structure and replace it with a new pedestrian bridge. An arrow points from the text to the concrete structure. The number '#3' is written in the bottom right corner.

REPLACE WITH NEW PEDESTRIAN
BRIDGE

#3



LOW WATER
CROSSLING

PROPOSED ASPHALT PARKING
AREA + TRAIL

CHILD'S SPORTS COMPLEX OVERFLOW PARKING #4



TRAIL BLAZING
COMPLEX

TRAIL BLAZING COMPLEX

#3